

NF
Kevin & Carolann Barrett
TPN 30-00-5610B-00-4
Block 09B, Unit 024

NF
Joseph F. Jr. & Ann W. Mann
TPN 30-00-1116-00-5
Block 09B, Unit 017

NF
William & Susan Tarlo
TPN 30-00-1115-00-6
Block 09B, Unit 015

NF
Charles & Patricia Cummings
TPN 30-00-1818B-00-7
Block 09B, Unit 022

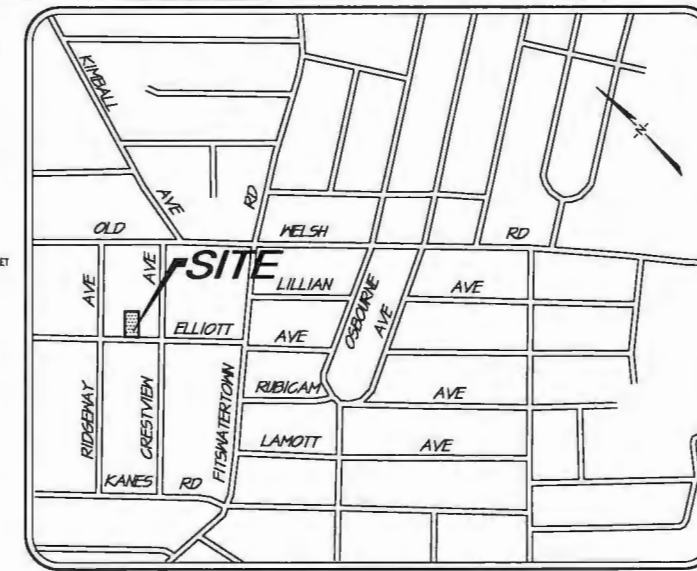
NF
David L. Roach & Patricia M. Chapman
TPN 30-00-1818C-00-6
Block 09B, Unit 018

LEGEND

- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- IRON PIN SET
- - - EXISTING CONTOUR
- EFM EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING SEWER CLEAN OUT
- EXISTING WATER CURB STOP
- EXISTING STORM SEWER w/ INLET
- - - EXISTING OVERHEAD WIRE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- PROPOSED LANDSCAPING PER INFOCUS PLANNING



811
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-EMERGENCY HOT LINE FOR CONSTRUCTION PROJECTS
PA ACT 131 (2008) REQUIRES THAT BURIED UTILITIES BE LOCATED BY CALLING 811 OR VISUALLY IDENTIFYING THEM BY VISUAL SURVEY.
SERIAL NO. 20192531809 & 20192531810



LOCATION MAP
SCALE: 1" = 500'

ZONED: R4 MEDIUM-HIGH DENSITY RESIDENTIAL

	REQUIRED	EXISTING UNIT 021	EXISTING UNIT 020	PROPOSED UNIT 020	PROPOSED UNIT 021
MINIMUM LOT AREA	7,500 SF	7,500 SF	7,500 SF	7,500 SF	7,500 SF
MINIMUM LOT WIDTH	50 FT	50 FT	50 FT	50 FT	50 FT
MINIMUM LOT DEPTH	100 FT	150 FT	150 FT	150 FT	150 FT
MINIMUM FRONT YARD	20 FT	N/A	32.5 FT	20.0 FT	20.0 FT
MINIMUM SIDE YARD	10 FT	N/A	-4.7 FT	10.16 FT	10.16 FT
MINIMUM REAR YARD	25 FT	N/A	89.8 FT	79.0 FT	79.0 FT
MAXIMUM BUILDING AREA	40 %	1.8 % (132 SF)	8.6 % (648 SF)	19.0 % (1,423 SF)	18.0 % (1,423 SF)
MAXIMUM IMPERVIOUS AREA	55 %	8.6 % (641 SF)	14.9 % (1,117 SF)	25.9 % (1,940 SF)	25.9 % (1,940 SF)
MINIMUM GREEN AREA	45 %	92.1 % (6,906 SF)	85.1 % (6,383 SF)	74.1 % (5,560 SF)	74.1 % (5,560 SF)
MAXIMUM BUILDING HEIGHT	35 FT	N/A	21.8 FT	< 35 FT	< 35 FT

PRESERVATION AND PROTECTION OF EXISTING VEGETATION

(SECTION 2401A.2.d - SUBDIVISION, LAND DEVELOPMENT AND SITE DISTURBANCE)

TREE REPLACEMENT REQUIREMENT:
ANY EXISTING TREE REMOVED THAT IS 6" OR GREATER CALIPER SHALL BE REPLACED 2:1 ON SITE BY TREES 3-3.5" CALIPER

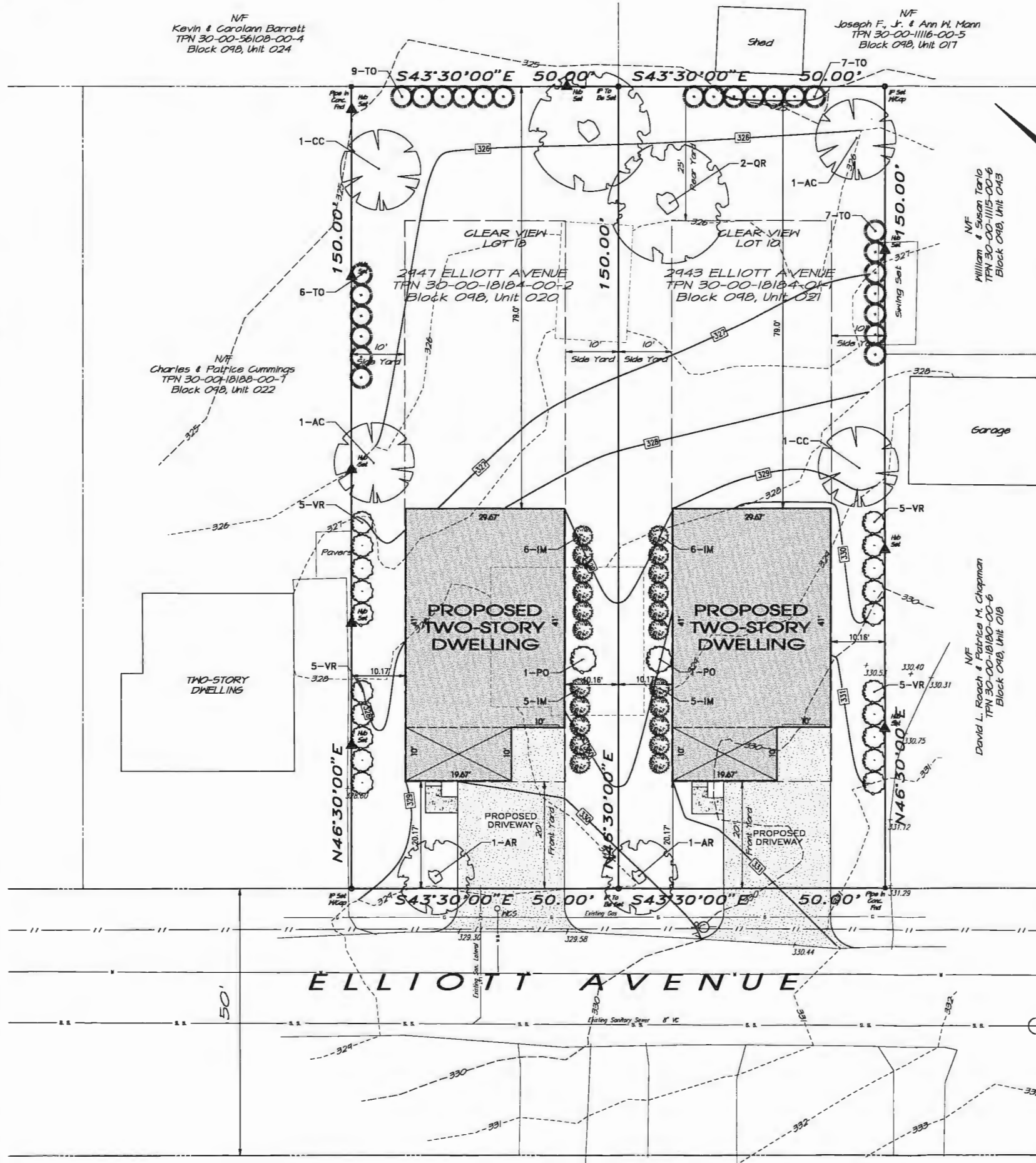
23 TREES 6" OR GREATER CALIPER HAVE BEEN REMOVED FROM THE PROJECT SITE (COMBINED LOTS) THEREFORE, A TOTAL OF 46 REPLACEMENT TREES 3-3.5" ARE REQUIRED

PROPOSED LANDSCAPING:
SHADE TREES - 4
ORNAMENTAL TREES - 4
EVERGREEN TREES - 26
SHRUBS - 4

NOTE: ALTERNATE TREE AND SHRUB TYPES ARE PROPOSED FOR INCREASED VARIETY AND SUITABILITY FOR LOT SIZE AND USE

VARIANCE REQUESTED

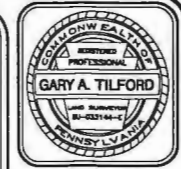
(A) SECTION 2401A.2.d.1. TO PROVIDE FEWER THAN THE REQUIRED 46 REPLACEMENT TREES AT THE REQUIRED MINIMUM SIZE AND TO VARY THE VEGETATION TYPE TO BETTER SUIT THE DEVELOPMENT



NOTES

- Boundary information shown taken from deeds and plans of record, and field surveys performed by Charles E. Shoemaker, Inc. during September, 2018.
REFERENCE PLANS:
a) Revised Plan of Lots of Clearview, prepared by Sartori & Remington, Civil Engineers, dated June, 1912. (BEARING BASIS) (LOTS 10 & 15)
- Horizontal Datum based on NAD 1983, SPC83 Pennsylvania (South), Geoid Model g2003u08 using Boyd Instrument virtual network system.
Vertical Datum based on NAVD 1988, using Boyd Instrument virtual network system.
- Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
- The existing impervious area referenced above does not include the 112 SF of driveway in the Elliott Avenue Right-of-Way. The total existing project impervious area is considered to be 1,870 SF and includes the area within the Right-of-Way for stormwater management purposes.
- All existing utilities should be terminated to the satisfaction of the Township and the utility owner prior to issuance of demolition permit.
- Site soils were mopped using the USDA-NRCS Web Soil Survey. All site soils are classified as Urban Soils (UrbS), Lawrenceville Complex.
- Proposed landscape information has been provided by Rachel Vehey, RLA of InFocus Planning:
REFERENCE PLAN:
a) Landscape Plan, prepared by InFocus Planning, dated November 22, 2019, no revisions. (Plan originally submitted to Township prior to revisions)

SITE AREA: TPN 30-00-1818A-00-2
AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres
SITE AREA: TPN 30-00-1818A-01-1
AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres
TOTAL SITE AREA
AREA TO THE TITLE LINES
15,000 SF or 0.3444 Acres



DATE	NO.	REVISION

TAX PARCEL NO. 30-00-1818A-01-1
BLOCK / UNIT 09B/020 & 09B/021
SITE ADDRESS 2943 ELLIOTT AVENUE & RIDGEWAY AVE
OWNER OF RECORD FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD ORELAND, PA, 18073

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA, 19001
PHONE: 215-887-2165 FAX: 215-576-7781
E-MAIL: char@shoemaker.com

ZONING EXHIBIT PLAN
2947 & 2943 ELLIOTT AVENUE
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD ORELAND, PA, 18073

DATE MARCH 25, 2020
DWG NO. A-1-1848
JOB NO. 26600
SHEET NO. 1 of 1



811
BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776
N.Y. WORKERS MUST BE CONTACTED DIRECTLY
PA ACT 121 (2008) REQUIRES THREE WORKING
DAYS NOTICE TO UTILITIES BEFORE EXCAVATION.
CALL 800-242-1776 FOR MORE INFORMATION.
SERIAL NO. 20192531809 R 20192531610

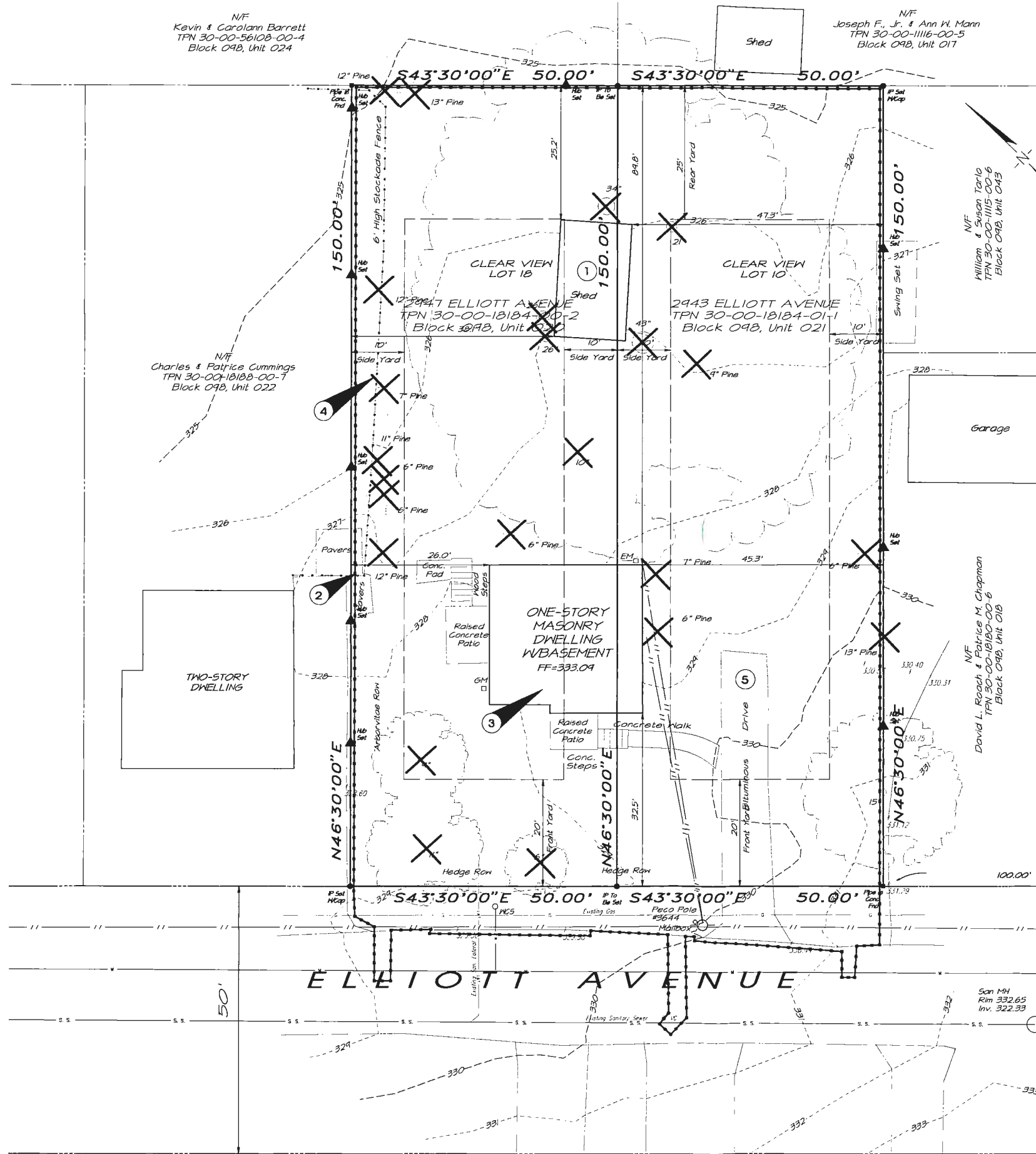
N/F
Kevin & Carolann Barrett
TPN 30-00-56108-00-4
Block 09B, Unit 024

N/F
Joseph F. Jr. & Ann W. Mann
TPN 30-00-11116-00-5
Block 09B, Unit 017

N/F
Charles & Patrice Cummings
TPN 30-00-18188-00-7
Block 09B, Unit 022

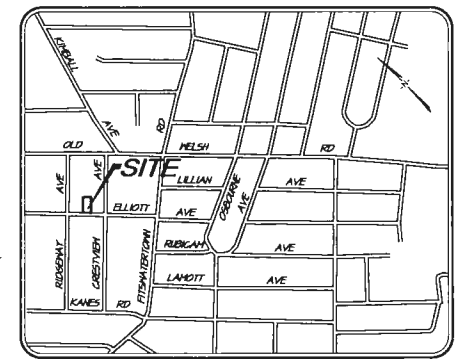
N/F
William & Susan Torlo
TPN 30-00-11115-00-6
Block 09B, Unit 043

N/F
David L. Roach & Patrice M. Chapman
TPN 30-00-18180-00-6
Block 09B, Unit 018



LEGEND

- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- IRON PIN SET
- - - EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING SEWER CLEAN OUT
- EXISTING WATER CURB STOP
- EXISTING STORM SEWER W/ INLET
- EXISTING OVERHEAD WIRE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- - - LIMIT OF DISTURBANCE LINE
- - - EXISTING FEATURE TO BE DEMOLISHED
- EXISTING TREE TO BE REMOVED



LOCATION MAP
SCALE: 1" = 800'

DEMOLITION ITEMS

- 1 EXISTING SHED TO BE REMOVED
- 2 EXISTING CONCRETE PAVERS TO BE REMOVED
- 3 EXISTING HOUSE, CONCRETE/MASONRY STEPS, WALKS AND WALLS TO BE REMOVED
- 4 EXISTING STOCKADE FENCE TO BE REMOVED
- 5 EXISTING DRIVEWAY TO BE REMOVED

ZONED : R4 MEDIUM - HIGH DENSITY RESIDENTIAL

	REQUIRED	EXISTING UNIT 021	EXISTING UNIT 020
MINIMUM LOT AREA	7,500 SF	7,500 SF	7,500 SF
MINIMUM LOT WIDTH	50 FT	50 FT	50 FT
MINIMUM LOT DEPTH	100 FT	150 FT	150 FT
MINIMUM FRONT YARD	20 FT	N/A	32.5 FT
MINIMUM SIDE YARD	10 FT	N/A	-4.7 FT
MINIMUM REAR YARD	25 FT	N/A	69.8 FT
MAXIMUM BUILDING AREA	40 %	1.8 % (132 SF)	8.6 % (648 SF)
MAXIMUM IMPERVIOUS AREA	55 %	8.6 % (641 SF)	14.9 % (1,117 SF)
MINIMUM GREEN AREA	45 %	92.1 % (6,906 SF)	85.1 % (6,383 SF)
MAXIMUM BUILDING HEIGHT	35 FT	N/A	21.8 FT

NOTES

- Boundary information shown taken from deeds and plans of record, and field surveys performed by Charles E. Shoemaker, Inc. during September, 2019.
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a) Revised Plan of Lots of Clearview, prepared by Sartori & Remington, Civil Engineers, dated June, 1912 (BEARING BASIS) (LOTS 10 & 18)
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Vertical Datum based on NAVD 1988, using Boyd instrument virtual network system.
- Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
- The existing impervious area referenced above does not include the 112 SF of driveway in the Elliott Avenue Right-of-Way. The total existing project impervious area is considered to be 1,870 SF and includes the area within the right-of-way for stormwater management purposes.
- All existing utilities should be terminated to the satisfaction of the Township and the utility owner prior to issuance of demolition permit.
- Site soils were mapped using the USDA-NRCS Web Soil Survey. All site soils are classified as Urban Soils (Urb3), Lawrenceville Complex.

CRESTVIEW AVENUE
(60' WIDE)

SITE AREA: TPN 30-00-18184-00-2

AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres

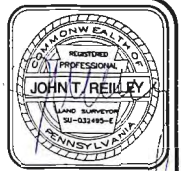
SITE AREA: TPN 30-00-18184-01-1

AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres

TOTAL SITE AREA

AREA TO THE TITLE LINES

15,000 SF or 0.3444 Acres



DATE	NO.	REVISION
1/6/2020	2	FINAL COMMENTS
12/27/19	1	TOWNSHIP COMMENTS

TAX PARCEL NO. 30-00-18184-00-2
BLOCK 09B, UNIT 021
OWNER OF RECORD
FLOURTOWN, LLC
CONSTRUCTION, LLC
1312 BRADFORD ROAD
DRELAND, PA. 19073

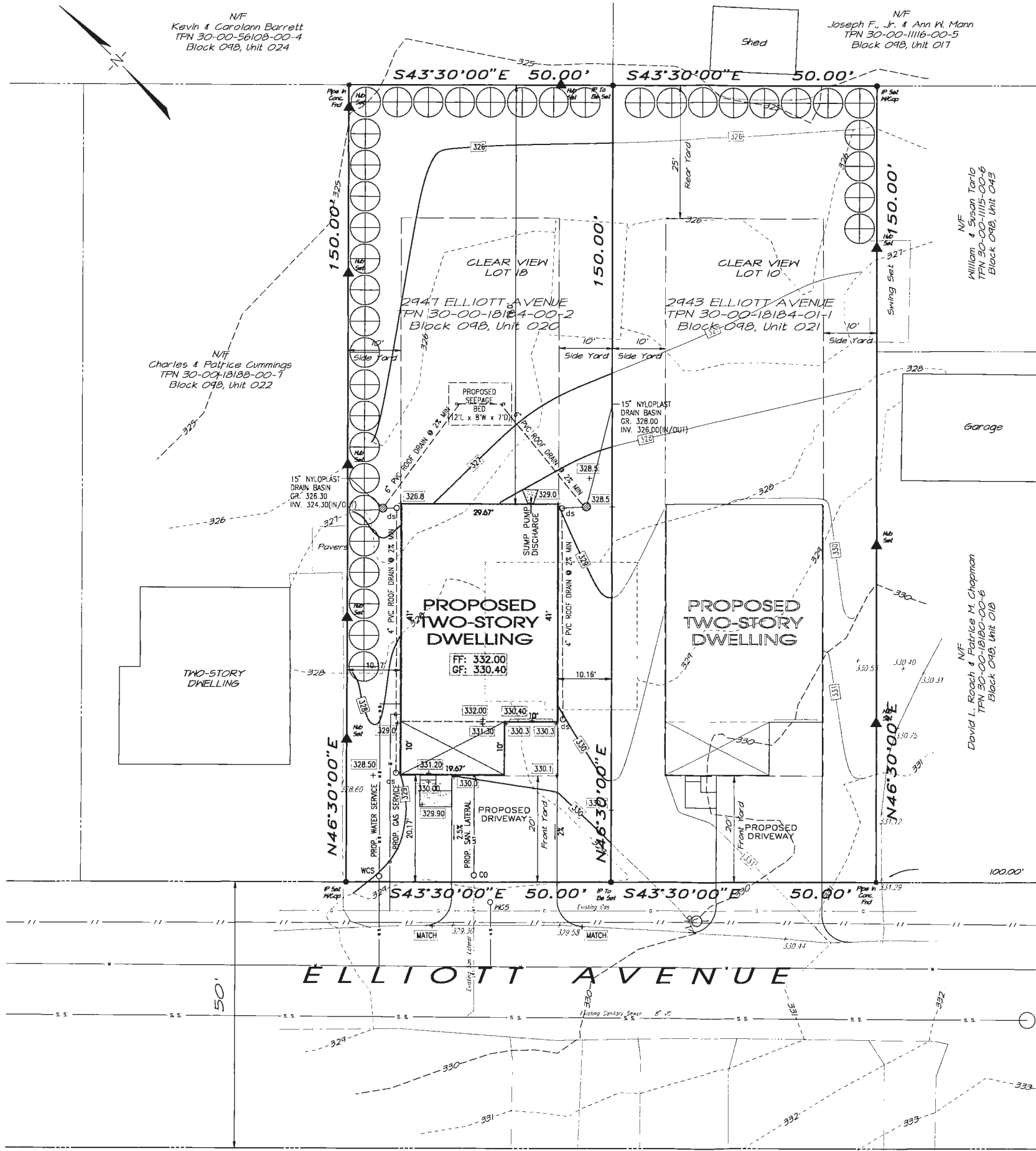
CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
E-MAIL: charles@ceshoemaker.com

EXISTING FEATURES AND DEMOLITION PLAN
OF
2947 & 2943 ELLIOTT AVENUE
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD
DRELAND, PA. 19073

DATE	NOVEMBER 7, 2019
DWG. NO.	A-1-1837
JOB NO.	26600
SHEET NO.	1 of 5

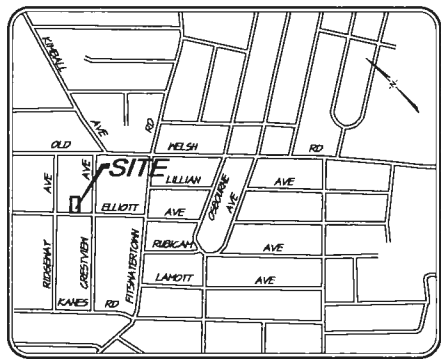


BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 FOR A FREE COPY OF THE PA ONE CALL MANUAL. THIS NOTICE TO UTILITIES BEFORE DIGGING, SHALL BE ON DESIGN SERIAL NO. 20192531609 & 20192531610



LEGEND

- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- IRON PIN SET
- - - EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING SEWER CLEAN OUT
- EXISTING WATER CURB STOP
- EXISTING STORM SEWER W/ INLET
- EXISTING OVERHEAD WIRE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- PROPOSED SURFACE FLOW DIRECTION
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL
- PROPOSED CLEANOUT
- PROPOSED WATER CURB STOP
- FIRST FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- PROPOSED ROOF DRAIN PIPE
- PROPOSED DOWNSPOUT
- PROPOSED TREE



LOCATION MAP
SCALE: 1" = 800'

ZONED: R4 MEDIUM-HIGH DENSITY RESIDENTIAL

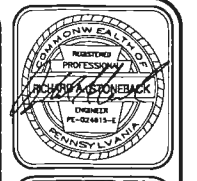
	REQUIRED	EXISTING UNIT 020	PROPOSED UNIT 020
MINIMUM LOT AREA	7,500 SF	7,500 SF	7,500 SF
MINIMUM LOT WIDTH	50 FT	50 FT	50 FT
MINIMUM LOT DEPTH	100 FT	150 FT	150 FT
MINIMUM FRONT YARD	20 FT	32.5 FT	20.0 FT
MINIMUM SIDE YARD	10 FT	-4.7 FT	10.16 FT
MINIMUM REAR YARD	25 FT	89.8 FT	79.0 FT
MAXIMUM BUILDING AREA	40 %	8.6 % (648 SF)	19.0 % (1,423 SF)
MAXIMUM IMPERVIOUS AREA	55 %	14.9 % (1,117 SF)	25.9 % (1,940 SF)
MINIMUM GREEN AREA	45 %	85.1 % (6,383 SF)	74.1 % (5,560 SF)
MAXIMUM BUILDING HEIGHT	35 FT	21.8 FT	< 35 FT

NOTES

- Boundary information shown taken from deeds and plans of record, and field surveys performed by Charles E. Shoemaker, Inc. during September, 2019.
REFERENCE PLANS:
a) Revised Plan of Lots of Clearview, prepared by Sartori & Remington, Civil Engineers, dated June, 1912. (BEARING BASIS) (LOTS 10 & 18)
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Vertical Datum based on NAVD 1988, using Boyd Instrument virtual network system.
- Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
- The existing impervious area referenced above does not include the 112 SF of driveway in the Elliott Avenue Right-of-Way. The total existing project impervious area is considered to be 1,870 SF and includes the area within the Right-of-Way for stormwater management purposes.
- For stormwater management purposes, the total existing impervious was added across the two lots, including the Right-of-Way area and divided equally. The total existing project impervious area is considered to be 1,870 SF. therefore, each lot starts with 935 SF of existing impervious area. Each lot is credited with 748 SF, or 80%, of the existing impervious coverage.
- Finished floor elevation is based on a minimum of 8" of clearance between finished outside grade and the top of foundation wall using 12" floor joists. Concrete contractor should verify floor section thickness and top of foundation wall elevations prior to stakeout and construction.
- All roof areas are to be piped to the proposed infiltration bed.
- Sump pumps are to discharge to stabilized ground surface (splash block or river rock). Sump pump discharges are not to be connected to roof drain system.

SITE DRAINS TO TRIBUTARY TO
TRIBUTARY TO PENNSYLVANIA CREEK - DISTRICT 17
CHAPTER 93 STORMWATER CLASSIFICATION T5F, M7

STORMWATER MANAGEMENT CALCULATIONS:
FOR NEW IMPERVIOUS AREAS, REDUCED DOWNSPOUT REQUIREMENT 2" OF RUNOFF BE TREATED FOR WATER QUALITY WITH THE FIRST 1" BEING REMOVED FROM SURFACE WATERS VIA INFILTRATION
The existing impervious area is calculated to be 748 SF per lot based on 80% credit.
Stormwater management facilities have been designed to accommodate an 200 SF of additional impervious area for future development (patio, pool, shed, etc.) based on the current disturbed area.
Proposed impervious area includes 172 SF in the Right of Way.
Total new impervious area considered is 1,940 SF + 200 SF + 172 SF - 748 SF = 1,564 SF
IMPERVIOUS AREA BASED ON PROPOSED PLAN AND LIMIT OF DISTURBANCE:
TOTAL NEW IMPERVIOUS AREA = 1,564 SF (TOTAL PROPOSED NEW IMPERVIOUS AREA - 2" OF RUNOFF)
2" x 1,564 SF = 282 CF << MIN. RECHARGE/WATER QUALITY REQUIREMENT
V = 289 CF << TOTAL WATER QUALITY/VOLUME REDUCTION
LIMIT OF DISTURBANCE AREA = 15,800 SF or 0.40 ACRES



DATE	REV	REVISION
1/6/2020	1	FINAL COMMENTS
12/27/19	1	TOWNSHIP COMMENTS

OWNER OF RECORD
FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD
DRELAND, PA 19073

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA 19001
PHONE: 215-887-2165 FAX: 215-578-7781
E-MAIL: charles@shoemaker.com

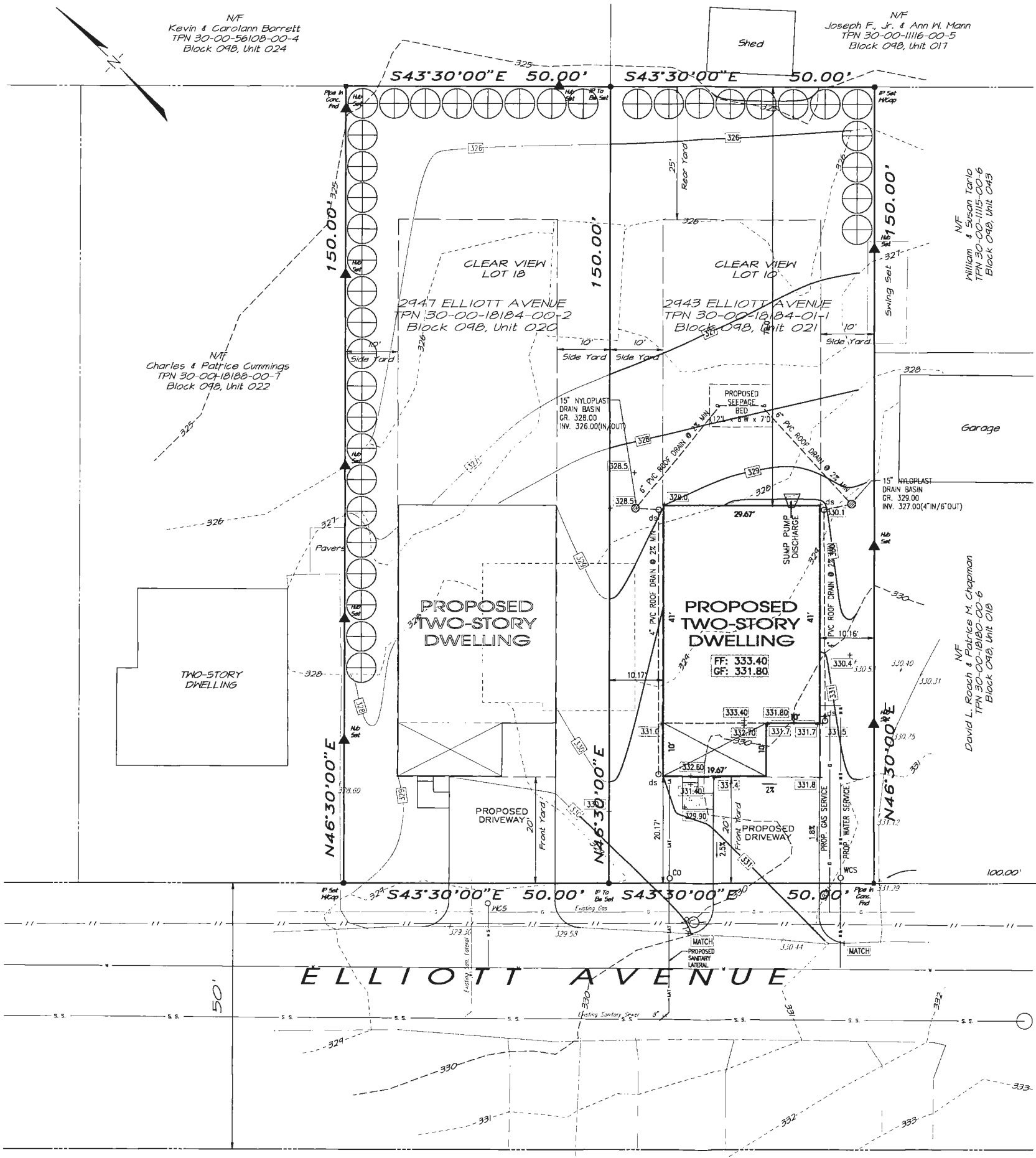
2947 ELLIOTT AVENUE
BUILDING PERMIT PLAN
2947 & 2943 ELLIOTT AVENUE
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD
DRELAND, PA 19073

DATE	NOVEMBER 7, 2019
DWG NO.	A-1-1838
JOB NO.	26600
SHEET NO.	2 of 5

SITE AREA: TPN 30-00-18184-00-2
AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres

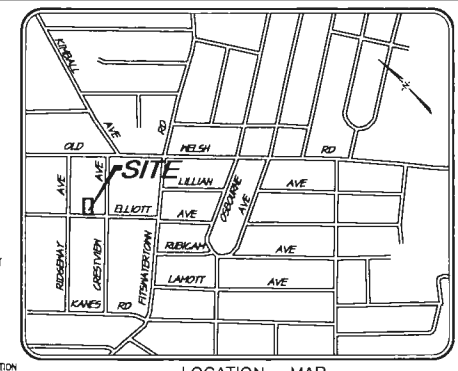


811
BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776
NEW ADDRESS LIST IS CONTACTS ONLY
PA ACT 31 (2008) REQUIRES THREE WORKING
DAYS NOTICE TO UTILITIES BEFORE EXCAVATION,
DRILL, BLAST OR SOLOUSH
SERIAL NO. 20192531809 & 20192531810



LEGEND

- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- IRON PIN SET
- - - EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING SEWER CLEAN OUT
- EXISTING WATER CURB STOP
- EXISTING STORM SEWER w/ INLET
- EXISTING OVERHEAD WIRE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- - - PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- - - PROPOSED SURFACE FLOW DIRECTION
- - - PROPOSED WATER SERVICE
- - - PROPOSED SANITARY LATERAL
- - - PROPOSED CLEANOUT
- - - PROPOSED WATER CURB STOP
- - - FIRST FLOOR ELEVATION
- - - GARAGE FLOOR ELEVATION
- - - PROPOSED ROOF DRAIN PIPE
- - - PROPOSED DOWNSPOUT
- - - PROPOSED TREE



LOCATION MAP
SCALE: 1" = 800'

ZONED : R4 MEDIUM - HIGH DENSITY RESIDENTIAL

	REQUIRED	EXISTING UNIT 021	PROPOSED UNIT 021
MINIMUM LOT AREA	7,500 SF	7,500 SF	7,500 SF
MINIMUM LOT WIDTH	50 FT	50 FT	50 FT
MINIMUM LOT DEPTH	100 FT	150 FT	150 FT
MINIMUM FRONT YARD	20 FT	N/A	20.0 FT
MINIMUM SIDE YARD	10 FT	N/A	10.16 FT
MINIMUM REAR YARD	25 FT	N/A	79.0 FT
MAXIMUM BUILDING AREA	40 %	1.8 % (132 SF)	19.0 % (1,423 SF)
MAXIMUM IMPERVIOUS AREA	55 %	8.6 % (641 SF)	25.9 % (1,940 SF)
MAXIMUM GREEN AREA	45 %	92.1 % (6,906 SF)	74.1 % (5,560 SF)
MAXIMUM BUILDING HEIGHT	35 FT	N/A	< 35 FT

NOTES

- Boundary information shown taken from deeds and plans of record, and field surveys performed by Charles E. Shoemaker, Inc. during September, 2019.
REFERENCE PLANS:
a) Revised Plan of Lots of Clearview, prepared by Sartori & Remington, Civil Engineers, dated June, 1912. (BEARING BASIS) (LOTS 10 & 18)
Horizontal Datum based on NAD 1983, SPC83 Pennsylvania (South), Geoid Model g2003u08 using Boyd Instrument virtual network system.
Vertical Datum based on NAVD 1988, using Boyd Instrument virtual network system.
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Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
- The existing impervious area referenced above does not include the 112 SF of driveway in the Elliott Avenue Right-of-Way. The total existing project impervious area is considered to be 1,870 SF and includes the area within the Right-of-Way for stormwater management purposes.
- For stormwater management purposes, the total existing impervious was added across the two lots, including the Right-of-Way area and divided equally. The total existing project impervious area is considered to be 1,870 SF, therefore, each lot starts with 935 SF of existing impervious area. Each lot is credited with 748 SF, or 80%, of the existing impervious coverage.
- Finished floor elevation is based on a minimum of 8" of clearance between finished outside grade and the top of foundation wall using 12" floor joists. Concrete contractor should verify floor section thickness and top of foundation wall elevations prior to stakeout and construction.
- All roof areas are to be piped to the proposed infiltration bed.
- Sump pumps are to be discharged to stabilized ground surface (splash block or river rock). Sump pump discharges are not to be connected to roof drain system.

SITE GRABNS TO TRIBUTARY TO
TRIBUTARY TO PENNSYLVANIA RIVER - DISTRICT 19
CHAPTER 93 STORMWATER CLASSIFICATION T5F, M5

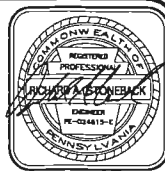
STORMWATER MANAGEMENT CALCULATIONS:

FOR NEW IMPERVIOUS AREAS, ABINGTON TOWNSHIP REQUIRES THAT 7% OF RUNOFF BE TREATED FOR WATER QUALITY WITH THE FIRST 1" BEING REMOVED FROM SURFACE WATERS VIA INFILTRATION.
The existing impervious area is calculated to be 748 SF per lot based on 80% credit.
Stormwater management facilities have been designed to accommodate an 200 SF of additional impervious area for future development (patio, pool, shed, etc.) based on the current disturbed area.
Proposed impervious area includes 172 SF in the Right of Way.
Total new impervious area considered is 1,940 SF + 200 SF + 172 SF = 748 SF = 1,564 SF

IMPERVIOUS AREA BASED ON PROPOSED PLAN AND LIMIT OF DISTURBANCE:
TOTAL NEW IMPERVIOUS AREA = 1,564 SF (TOTAL PROJECT NEW IMPERVIOUS AREA)
2% x 1,564 SF = 262 SF << MIN. RECHARGE/WATER QUALITY REQUIREMENT

V = 269 CF << TOTAL WATER QUALITY/VOLUME REDUCTION

LIMIT OF DISTURBANCE AREA = 15,800 SF or 0.40 ACRES



DATE	NO.	REVISION
1/6/2020	2	F.NAL COMMENTS
12/27/19	1	TOWNSHIP COMMENTS

TAX PARCEL NO. 30-00-18184-00-2
30-00-18184-00-1
BLOCK 098, UNIT 021
OWNER OF RECORD
FLOURTOWN, LLC
CONSTRUCTION, LLC
1312 BRADFORD ROAD
ORELAND, PA. 19073

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
E-MAIL: char@eshoemaker.com

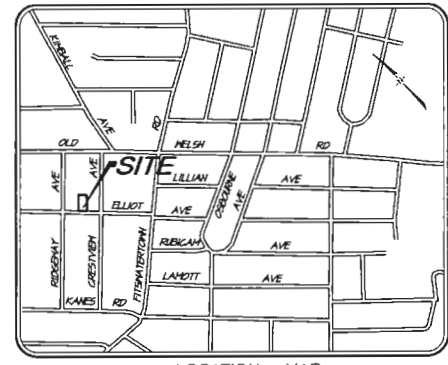
2943 ELLIOTT AVENUE
BUILDING PERMIT PLAN
OF
2947 & 2943 ELLIOTT AVENUE
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FLOURTOWN CONSTRUCTION, LLC
1312 BRADFORD ROAD
ORELAND, PA. 19073

DATE: NOVEMBER 7, 2019
DWG NO.: A-1-1839
JOB NO.: 26600
SHEET NO.: 3 of 5

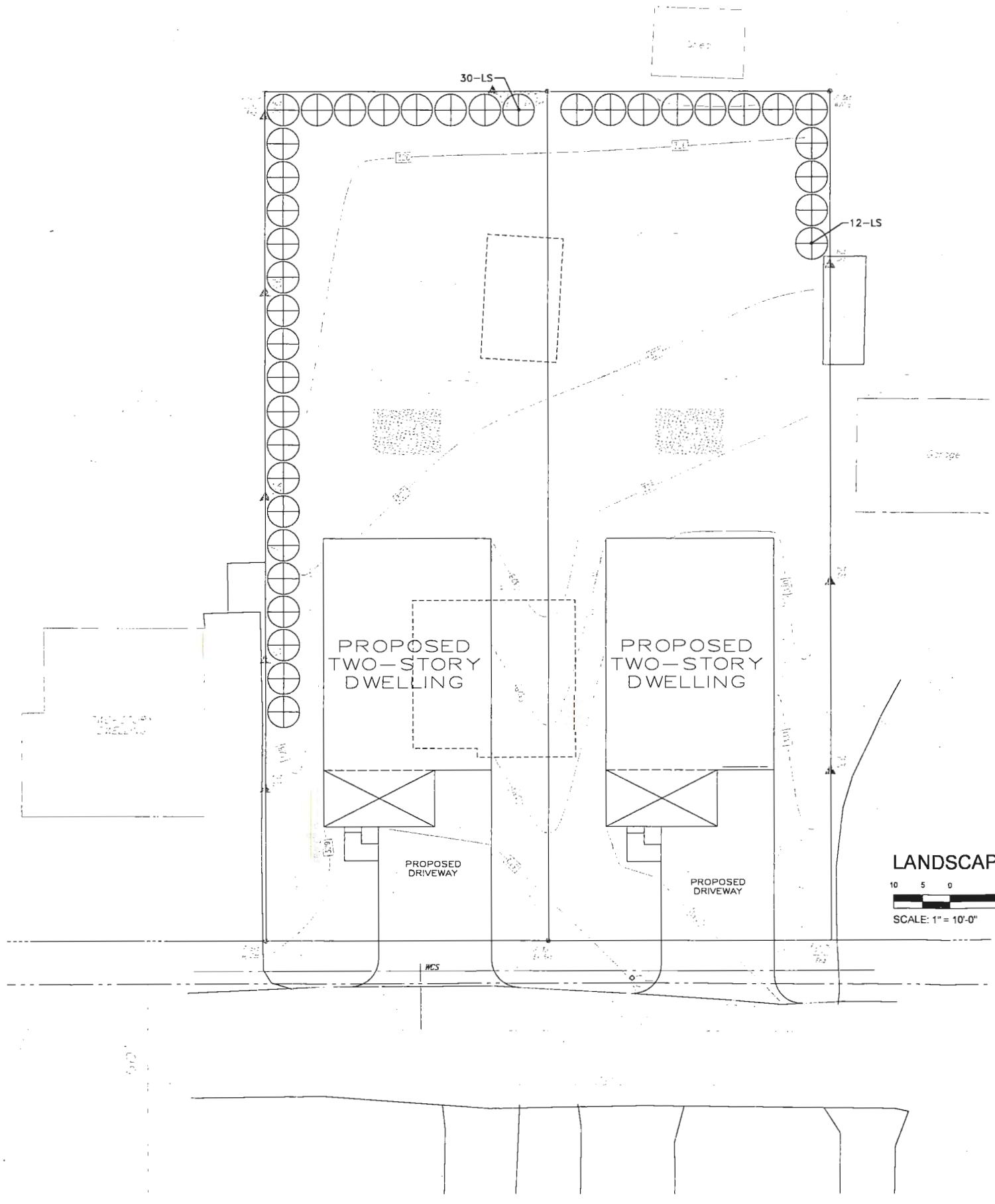
SITE AREA: TPN 30-00-18184-01-1
AREA TO THE TITLE LINES
7,500 SF or 0.1722 Acres

LEGEND

- 12" CONCRETE MONUMENT FOUND
- 18" IRON PIN FOUND
- 24" RAILROAD SPIKE FOUND
- 30" IRON PIN SET
- - - - - EXISTING CONTOUR
- 12" EXISTING FIRE HYDRANT
- 12" EXISTING UTILITY POLE
- 6" EXISTING GAS VALVE
- 3" EXISTING WATER VALVE
- 6" EXISTING SEWER CLEAN OUT
- 6" EXISTING WATER CURB STOP
- - - - - EXISTING STORM SEWER w/ INLET
- - - - - EXISTING OVERHEAD WIRE
- - - - - EXISTING GAS MAIN
- - - - - EXISTING WATER MAIN
- - - - - PROPOSED CONTOUR LINE
- + (32.4) PROPOSED SPOT GRADE
- - - - - PROPOSED SURFACE FLOW DIRECTION
- - - - - PROPOSED WATER SERVICE
- - - - - PROPOSED SANITARY LATERAL
- CD PROPOSED CLEANOUT
- WCS PROPOSED WATER CURB STOP
- FF FIRST FLOOR ELEVATION
- GF GARAGE FLOOR ELEVATION
- RD PROPOSED ROOF DRAIN PIPE
- DS PROPOSED DOWNSPOUT



LOCATION MAP
SCALE: 1" = 800'

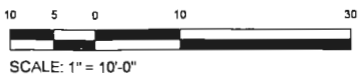


PLANT SCHEDULE

Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Caliper	Min. Planting Height	Remarks	Comments
LS	42	Liquidambar styraciflua 'Slender Silhouette'	'Slender Silhouette' Sweetgum	3-3.5" cal.	10-12'	B&B	Single, straight leader.

** Slender Silhouette Sweetgum is a columnar variety that may be spaced 6-8' apart to create a hedge buffer appearance. Proposed locations may be shifted due to field conditions at time of installation.

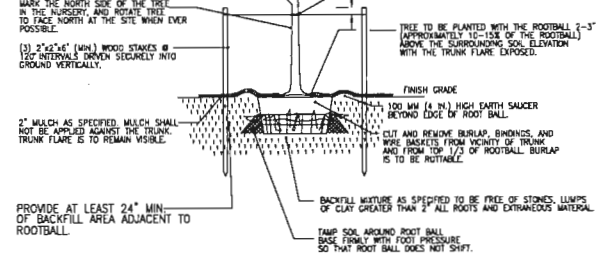
LANDSCAPE PLAN



NOTES:

1. PRUNE DEAD AND DAMAGED BRANCHES IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
2. DO NOT CUT LEADER.
3. ATTACH TREE STRAPS AT OFFSET POINTS OF CONTACT WITH THE TRUNK OF THE TREE TO PREVENT CONstriction OF TRUNK. TREES SHALL BE CLIPPED TO THE STAKES AT ABOUT 5' IN HEIGHT. TACK EACH CUT CABLE WITH FLUORESCENT MATERIAL FOR SAFETY.

- (1) 3"x4" (MIN) WOOD STAKES @ 12" INTERVALS DRIVEN SECURELY INTO GROUND VERTICALLY.
- (2) MULCH AS SPECIFIED. MULCH SHALL NOT BE APPLIED AGAINST THE TRUNK. TRUNK FLARE IS TO REMAIN VISIBLE.
- (3) PROVIDE AT LEAST 24" MIN. OF BACKFILL AREA ADJACENT TO ROOTBALL.



ORNAMENTAL AND SHADE TREE PLANTING/ STAKING DETAIL
NOT TO SCALE

General Notes



Landscape Plan

No.	Revision/Issue	Date
2	PER TWP. COMMENTS	12/2/19
1	PER TWP. COMMENTS	11/25/19

Firm Name and Address

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LANDSCAPE DEVELOPMENT SERVICES

7715 CRITTENDEN STREET #243
PHILADELPHIA, PA 19119
P: 267-336-7411 F: 267-775-5315
www.infocusplanning.com

Project Name and Address

2947 & 2949 ELLIOT AVENUE
ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

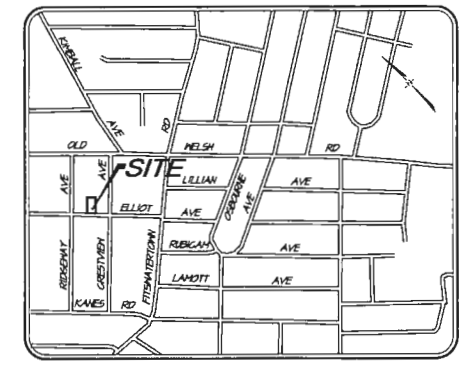
Project: InFocus_19-59 Sheet: LP-1

Date: 11/22/19

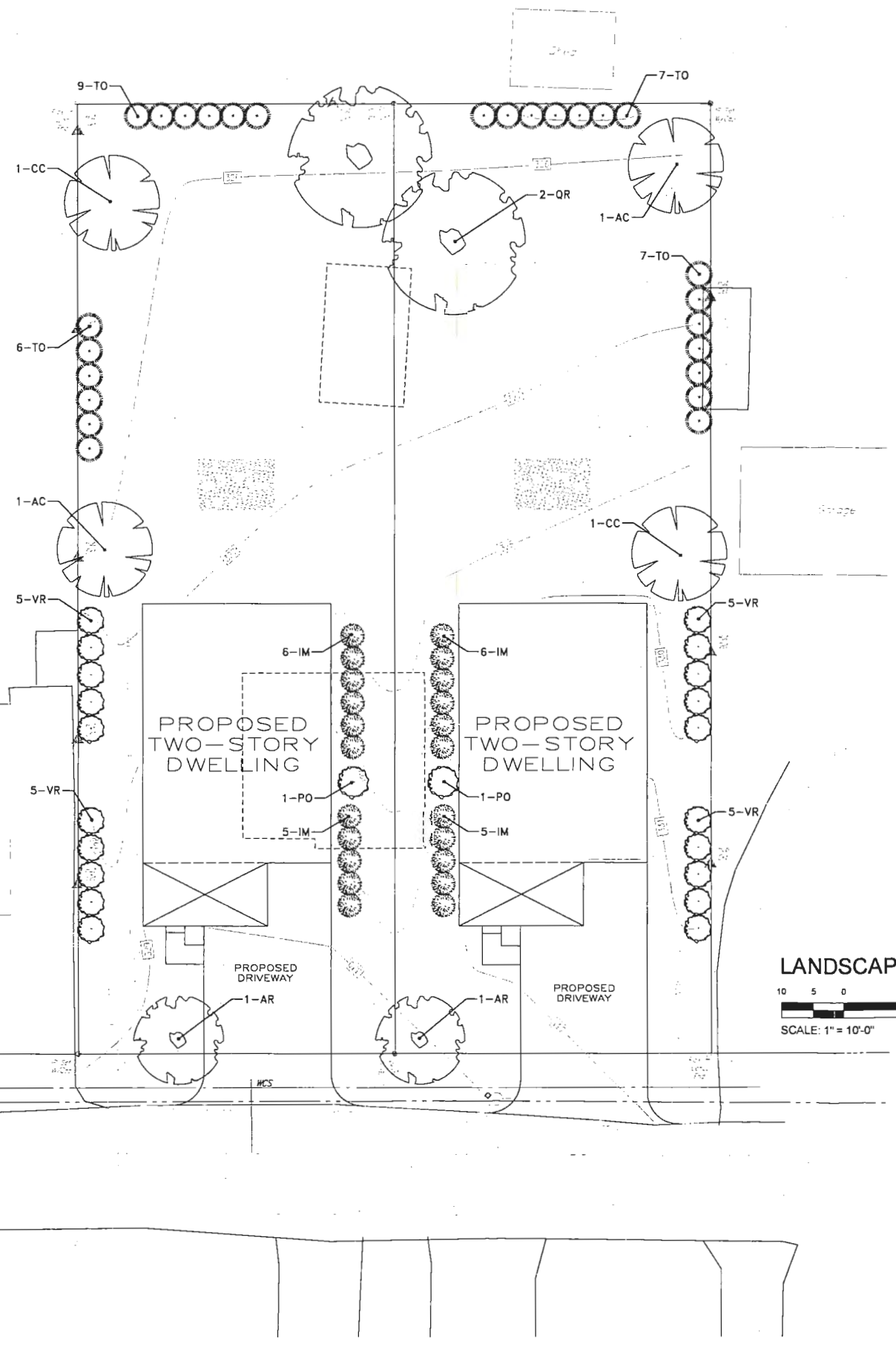
Scale: As Noted

LEGEND

- 30" CONCRETE MONUMENT FOUND
- 1" IRON PIN FOUND
- 1/2" RAILROAD SPIKE FOUND
- 1/4" IRON PIN SET
- EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- 6" EXISTING GAS VALVE
- 1/2" EXISTING WATER VALVE
- 1/2" EXISTING SEWER CLEAN OUT
- 1/2" EXISTING WATER CURB STOP
- EXISTING STORM SEWER w/ INLET
- EXISTING OVERHEAD WIRE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- PROPOSED SURFACE FLOW DIRECTION
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL
- PROPOSED CLEARDIST
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- FF FIRST FLOOR ELEVATION
- GF GARAGE FLOOR ELEVATION
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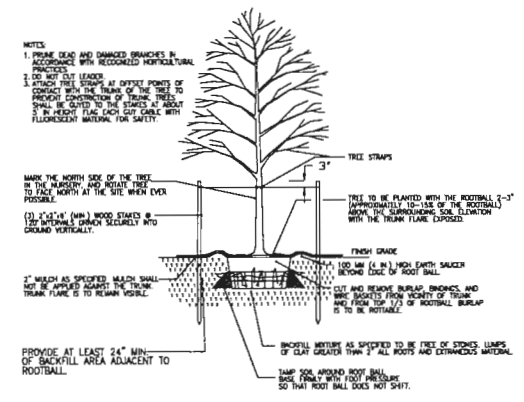
LOCATION MAP
SCALE: 1" = 800'



Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Caliper	Min. Planting Height	Remarks	Comments
Shade Trees							
AR	2	<i>Acer rubrum</i> 'Royal'	Spotted Maple	3-3.5"	14-16'	B&B	Full canopy, central leader
NS	2	<i>Nyssa sylvatica</i>	Black Gum	3-3.5"	14-16'	B&B	Full canopy, central leader
Ornamental Trees							
AC	2	<i>Amelanchier canadensis</i>	Serviceberry	-	8-10'	B&B	Multi-stem, min. 5 stems
CC	2	<i>Cercis canadensis</i>	Eastern Redbud	-	8-10'	B&B	Multi-stem, min. 5 stems
Evergreen Trees							
TO	26	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	-	6-8'	B&B	Branched fully to ground
Shrubs**							
IM	22	<i>Ilex x meserveae</i> 'Monivue'	Scallaway Holly	-	18-24"	CONT	Heavy, full specimen
PD	2	<i>Physocarpus opulifolius</i>	Ninebark	-	24-30"	CONT	Heavy, full specimen
VR	26	<i>Viburnum hybridum</i>	Leatherleaf Viburnum	-	10-36"	CONT	Heavy, full specimen

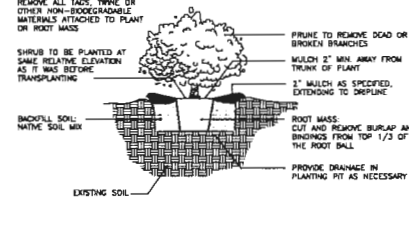
PRESERVATION & PROTECTION OF EXISTING VEGETATION

(SECTION 2401A.2.2 - Subdivision, Land Development and Site Disturbance)
TREE REPLACEMENT REQUIREMENT:
 ANY EXISTING TREE REMOVED THAT IS 6" OR GREATER CALIPER SHALL BE REPLACED 2:1 OR SIZE BY TREES 3-3.5" CALIPER.
 23 TREES 4" OR GREATER CALIPER HAVE BEEN REMOVED FROM THE PROJECT SITE.
PROPOSED PLANT MATERIAL:
 4 SHADE TREES
 4 ORNAMENTAL TREES
 26 EVERGREEN TREES
 48 SHRUBS
 ** ALTERNATE TREE/SHRUB TYPES PROPOSED FOR INCREASED VARIETY AND SUSTAINABILITY FOR LOT SIZE.



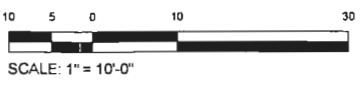
ORNAMENTAL AND SHADE TREE PLANTING/ STAKING DETAIL

- NOTE: REMOVE ALL TAGS, TWINE OR OTHER NON-Biodegradable MATERIALS ATTACHED TO PLANT OR ROOT MASS.
 SHRUB TO BE PLANTED AT SAME RELATIVE ELEVATION AS IT WAS BEFORE TRANSPLANTING.
 BACKFILL SOIL WITH SOIL MIX.
 ROOT MASS: CUT AND REMOVE BURRAP AND BRANCHES FROM TOP 1/2 OF THE ROOT BALL.
 PROVIDE DRAINAGE IN PLANTING PIT AS NECESSARY.
1. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
 2. ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5" INCH.
 3. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.
 4. TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS SUSPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.
 5. WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO 2.5 INCH CALIPER - 14 GAUGE
 TREES 2.5 INCH TO 3 INCH CALIPER - 12 GAUGE
 6. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF TRUNK MOVEMENT.
 7. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE DEPOSITED.



SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE PLAN



SCALE: 1" = 10'-0"

General Notes



Landscape Plan

No.	Revision/Issue	Date

Firm Name and Address
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 LANDSCAPE ARCHITECTS
 7715 CRITTENDEN STREET #343
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Project InFocus_19-59	Sheet LP-1
Date 11/22/19	Scale As Noted