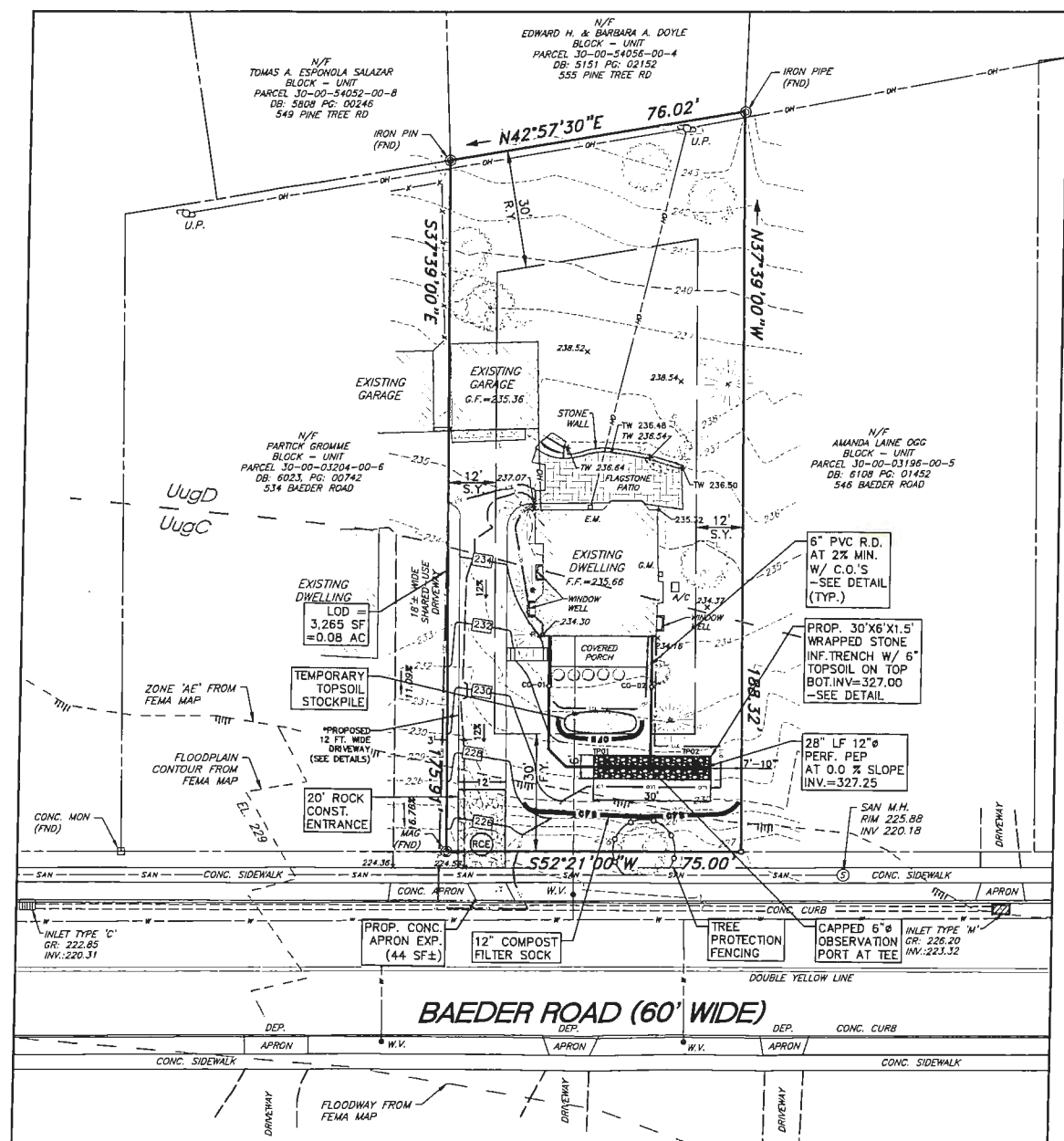
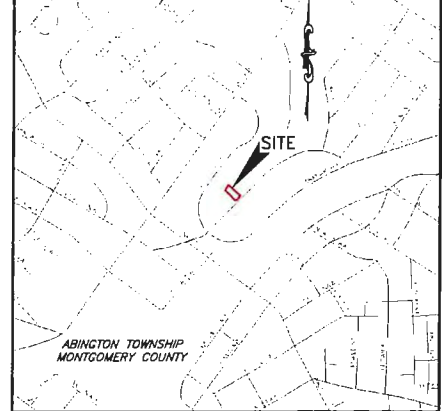


EXISTING FEATURES & DEMOLITION PLAN  
SCALE: 1"=20'



SITE IMPROVEMENTS PLAN  
SCALE: 1"=20'



LOCATION MAP  
SCALE:

**ZONING RELIEF REQUIRED:**

ZONING RELIEF IS REQUIRED FROM THE ABINGTON TWP. BECAUSE PROPOSED DRIVEWAY ENTRANCE LIES WITHIN THE 100 YR FLOOD PLAIN AND INVOLVES ADDITION OF IMPERVIOUS SURFACE THERE.

SECTION 1407.2 - USES PERMITTED BY SPECIAL EXCEPTION

SECTIONS 1410.2 - VARIANCE OR SPECIAL EXCEPTION PROCEDURES AND CONDITIONS

SECTION 1410.6 - VARIANCE CONDITIONS

SECTION 1411 - TECHNICAL PROVISIONS IN THE EVENT OF A VARIANCE BEING GRANTED RELATING TO FILING A ZONING HEARING BOARD APPLICATION

**EXISTING FEATURES NOTES:**

- THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY COMPLETED BY THIS OFFICE ON MARCH 4, 2020.
- SITE DATA**  
CURRENT OWNER: VO PROPERTIES, LLC  
ADDRESS: 1167 WEST BALTIMORE PIKE  
MEDA PA 19063  
SITE ADDRESS: 540 BAEDER RD  
JENKINTOWN PA 19046-1554  
RECORDED DATA: ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA  
TAX MAP: BLOCK 187 - UNIT B2  
TAX NUMBER: PARCEL 30-00-03204-00-1  
DEED BOOK 6170 PAGE 1059

**GENERAL NOTES:**

- DRIVEWAY MUST BE PAVED WITHIN 10 FT OF R.O.W.
- ALL PROPOSED PAVEMENT LOCATED WITHIN THE EXISTING FLOODPLAIN MUST BE PERVIOUS (E.G. PAVEMENT, POROUS PAVEMENT, ETC. WITH A CRUSHED STONE AND/OR SAND BASE). DRIVEWAY BASE MUST BE SCARIFIED PRIOR TO INSTALLATION.
- A PERVIOUS PAVEMENT MAY BE USED AS A SUBSTITUTE TO PERVIOUS PAVEMENT PROVIDED IT HAS A 1" MIN. COARSE SAND BED LAYER SEPARATING IT FROM 4" MIN. ASHSTO #87 STONE SUB-BASE (PLACED ON MIRA) 140 FILTER FABRIC OR EQ) AND HAS LATERAL SUPPORT PROVIDED ON EACH SIDE OF DRIVEWAY TO CONTAIN PAVED AREA.
- INFILTRATION BED LOCATION MUST BE PROTECTED FROM HEAVY EQUIPMENT TRAFFIC AND SEDIMENT DURING CONSTRUCTION. TRENCH WALLS MUST BE THOROUGHLY SCARIFIED WITH RAKE PRIOR TO INSTALLATION OF LINED STONE BED WITH TOPSOIL COVER.

**EROSION & SEDIMENTATION CONTROL NOTES:**

- BEFORE EARTH DISTURBANCES BEGIN, THE LANDOWNER SHALL BE THOROUGHLY FAMILIAR WITH EROSION AND SEDIMENT CONTROL RULES AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- AT LEAST THREE WORKING DAYS BEFORE STARTING ANY DISTURBANCE, THE LANDOWNER SHALL NOTIFY ABINGTON TWP. AT LEAST THREE DAYS BEFORE EARTH DISTURBANCE BEGINS, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM, AT 1-800-242-1778, TO OBTAIN INFORMATION ON BURIED UTILITY LOCATIONS.
- ANY REVISIONS TO THIS PLAN, OR TO ANY OTHER PLANS THAT MAY AFFECT IT, MUST HAVE PRIOR APPROVAL OF THE BUCKS COUNTY CONSERVATION DISTRICT.
- EROSION AND SEDIMENT CONTROL PLANS MUST BE PREPARED FOR ALL OFF-SITE BORROW AND SPOIL AREAS.
- THE OWNER OR AGENT SHALL PROPERLY IMPLEMENT THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON PLAN.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE LANDOWNER SHALL INSTALL, OPERATE AND MAINTAIN THE SPECIFIED EROSION AND SEDIMENT CONTROLS. ALL REQUIRED WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING AND RE-STABILIZATION SHALL BE DONE IMMEDIATELY.
- UPON DISCOVERY OF CIRCUMSTANCES THAT COULD CAUSE ACCELERATED EROSION AND SEDIMENT POLLUTION, THE LANDOWNER SHALL IMMEDIATELY INSTALL ADDITIONAL APPROPRIATE CONTROL MEASURES.
- EARTH DISTURBANCE AND CONSTRUCTION MUST PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE IN THE SEQUENCE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE BEGINS. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- UNCONTAMINATED SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL AREAS SHALL BE DISPOSED OF ON THE SITE, IN LANDSCAPED AREAS OR IN TOPSOIL STOCKPILES, AND SHALL BE STABILIZED IMMEDIATELY. SEDIMENT WILL NOT BE PLACED ON STEEP SLOPES OR IN WETLANDS, FLOODPLAINS OR DRAINAGE SWALES.
- THE LANDOWNER SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS. THE LANDOWNER SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.

**SOILS TABLE**

MAP SYMBOL	SOIL NAME	SLOPES	HYDROLOGIC GROUP	DEPTH TO WATER TABLE	DEPTH TO BEDROCK	DRAINAGE CHARACTERISTICS
Uugc	URBAN LAND-UDORTMENTS, SCHIST AND GNEISS COMPLEX	D-8X	C	60"	10-99"	WELL DRAINED
Uugd	URBAN LAND-UDORTMENTS, SCHIST AND GNEISS COMPLEX	B-25X	C	60"	10-99"	WELL DRAINED

**ZONING DATA:**  
ZONED: R-3 MEDIUM DENSITY RESIDENTIAL

	REQUIRED	PROPOSED
MIN. LOT AREA:	10,000 S.F.	13,659.81 S.F.
MIN. LOT WIDTH:	75 FT.	75 FT.
MIN. LOT DEPTH:	100 FT.	100 FT.
MAX. BUILDING COVERAGE:	30%	12.2% (1,673 S.F.)
MAX. LOT IMPERVIOUS:	40%	27.3% (3,732.71 S.F.)
YARDS FRONT:	54.89 FT.	54.89 FT.
YARDS SIDE:	2 @ 12 FT.	21.93 FT.
REAR:	30 FT.	22.03 FT.
MAX. BUILDING HEIGHT:	35 FT.	35 FT.
MIN. GREEN SPACE:	60%	72.7% (9,926.10 S.F.)

**RUNOFF VOLUME CALCULATIONS:**

PROP. INCREASE IMPERVIOUS: 652 SF

SIMPLIFIED METHOD:  
VOLUME = 652 (2/12) = 108.7 CF

PROP INF. TRENCH VOL = 114 CF > 108.7 CF

VOL FROM FRONT ROOF DRAINS TO TRENCH = 162 CF (RELIEF WYE OUTLET PROVIDED WITH SPLASH PAD, SEE ROOF DRAIN DETAIL).

NOTE: IT WAS ASSUMED THAT ONLY DRAINAGE FROM FRONT HALF OF DWELLING, INCLUDING COVERED PORCH, WOULD SUPPLY INFILTRATION TRENCH WITH THE NECESSARY VOLUME.

**IMPERVIOUS SURFACE SUMMARY (SF):**

	EXISTING	PROPOSED
DWELLING (ROOFTOP)	998	996
WINDOW WELLS	22	22
GARAGE (ROOFTOP)	539	539
COVERED PORCH	193	193
WALKWAYS AND PATIOS	632	559
DRIVEWAY	834	1,508
CONCRETE APRON	23	74
CONCRETE SIDEWALK	295	295
TOTAL AREA	3,534	4,186
NET INCREASE = 652 SF		

**SOIL TESTING RESULTS:**

TEST1  
MEASURED INFILTRATION RATE = 2.5 IN/HR  
LIMITING ZONE > 48" TEST DEPTH

TEST2  
MEASURED INFILTRATION RATE = 1.0 IN/HR  
LIMITING ZONE > 48" TEST DEPTH

AVG. INFILTRATION RATE = 1.75 IN/HR  
ADJUSTED RATE = 0.9 IN/HR (S.F. = 2)

REGISTERED PROFESSIONAL ENGINEER  
LEON D. MCGUIRE JR.  
P.E. No. 052121-E  
5/15/20

PROFESSIONAL LAND SURVEYOR  
ROBERT E. BLUE JR.  
LICENSE NO. SU1323A  
5/15/20

**811** PENNSYLVANIA ONE CALL  
DIAL 8-1-1 or 1-800-242-1776  
BEFORE YOU DIG

CALL 811 THREE DAYS TO TEN DAYS BEFORE YOU START ANY DIGGING PROJECT. WHETHER YOU ARE PLANNING TO DO IT YOURSELF OR HIRE A PROFESSIONAL, SOMEONE NEEDS TO CALL 811.

Call before you dig. SERIAL #20200762736  
MARCH 16, 2020

REVISIONS

NO.	DATE	DESCRIPTION

**robert e. blue**  
consulting engineers, p.c.  
1149 Skippack Pike, Blue Bell, PA 19422  
Tel: (610)-277-9841 Fax: (610)-277-9897  
www.robertblue.com email: rblue@robertblue.com

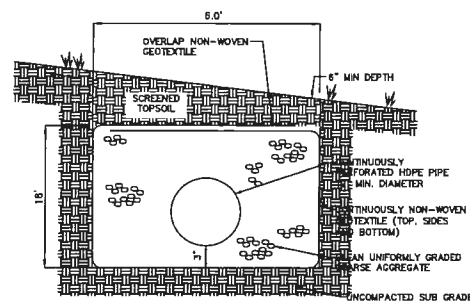


**SITE IMPROVEMENTS PLAN**

540 BAEDER ROAD  
ABINGTON TOWNSHIP  
MONTGOMERY COUNTY  
PENNSYLVANIA

PREPARED FOR  
**VO PROPERTIES, LLC**  
1167 WEST BALTIMORE PIKE  
MEDA PA 19063

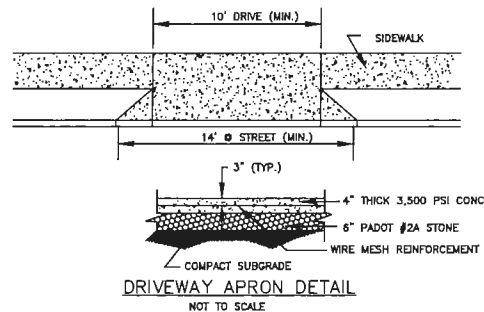
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DRAWN BY: RJM  
CHECKED BY: LDW  
SCALE: 1"=20'  
SHEET NUMBER: 2187-1  
SHEET TOTAL: 1 OF 2



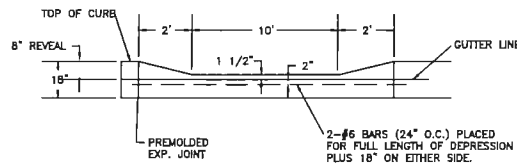
INFILTRATION TRENCH DETAIL (NOT TO SCALE)

**INFILTRATION TRENCH MAINTENANCE NOTES**

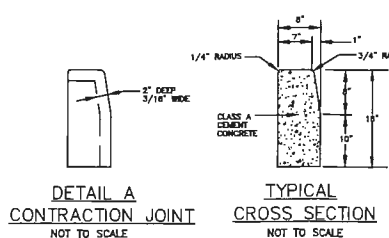
1. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION TRENCH SHOULD BE MAINTAINED IN GOOD CONDITION AND ANY BARE SPOTS SHOULD BE RE-VEGETATED AS SOON AS POSSIBLE.
2. CARE SHALL BE TAKEN TO AVOID SOIL COMPACTION BY LAWN MOWERS.
3. OWNER SHALL INSPECT THE INFILTRATION TRENCH BI-ANNUALLY TO ASSURE THERE IS NO STANDING WATER.



DRIVEWAY APRON DETAIL (NOT TO SCALE)

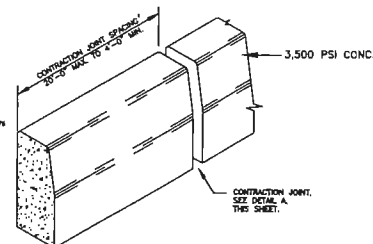


CURB DEPRESSION @ DRIVEWAY (NOT TO SCALE)

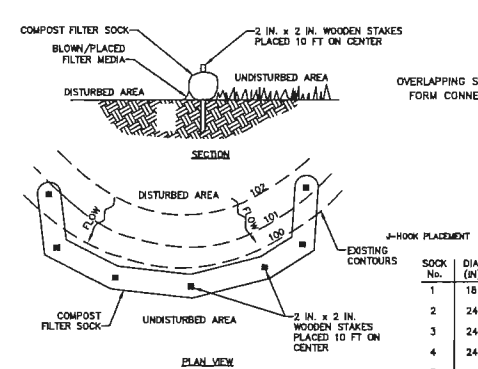


DETAIL A CONTRACTION JOINT (NOT TO SCALE)

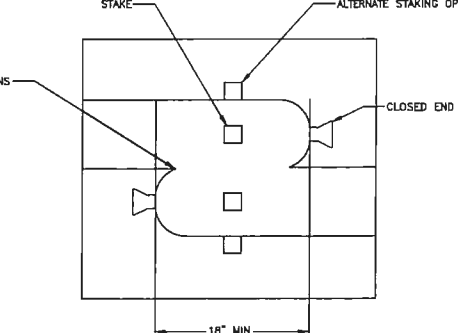
TYPICAL CROSS SECTION (NOT TO SCALE)



PLAIN CEMENT CONCRETE CURB (NOT TO SCALE)



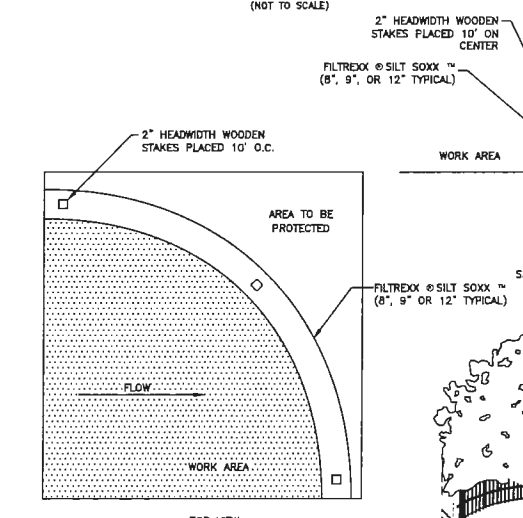
COMPOST FILTER SOCK PLAN VIEW (NOT TO SCALE)



COMPOST SOCK CONNECTION/ATTACHMENT DETAIL (NOT TO SCALE)

**NOTES:**  
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**COMPOST FILTER SOCK (NOT TO SCALE)**



COMPOST FILTER SOCK SECTION VIEW (NOT TO SCALE)

**NOTES:**  
 1. ALL MATERIAL TO MEET FILTREXX 8 SPECIFICATIONS.  
 2. SILT SOCK TO MEET APPLICATION REQUIREMENTS.  
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

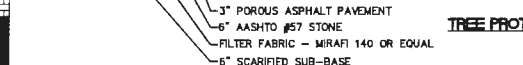
**FILTREXX 8 SILT SOCK™ (NOT TO SCALE)**



FILTREXX 8 SILT SOCK™ SECTION VIEW (NOT TO SCALE)

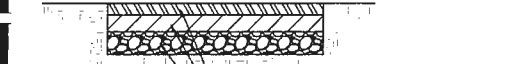
**NOTES:**  
 FENCING AND ARMORING:  
 (PLATE 1.85B). ANY DEVICE MAY BE USED WHICH WILL EFFECTIVELY PROTECT THE ROOTS, TRUNK AND TOPS OF TREES RETAINED ON THE SITE. HOWEVER, TREES TO BE RETAINED WITHIN 40 FEET OF A PROPOSED BUILDING OR EXCAVATION SHALL BE PROTECTED BY FENCING. PERSONNEL MUST BE INSTRUCTED TO HONOR PROTECTIVE DEVICES. THE DEVICES DESCRIBED ARE SUGGESTED ONLY, AND ARE NOT INTENDED TO EXCLUDE THE USE OF OTHER DEVICES WHICH WILL PROTECT THE TREES TO BE RETAINED.

**DRIVEWAY CROSS SECTION - PERVIOUS (NOT TO SCALE)**



DRIVEWAY CROSS SECTION - PERVIOUS (NOT TO SCALE)

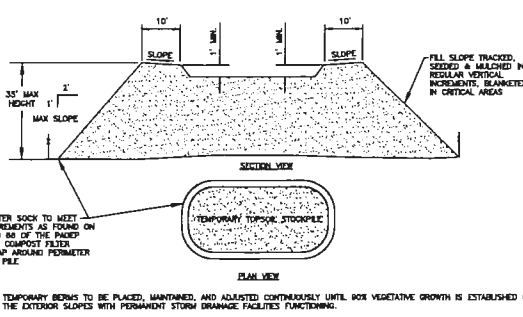
**DRIVEWAY CROSS SECTION - IMPERVIOUS (NOT TO SCALE)**



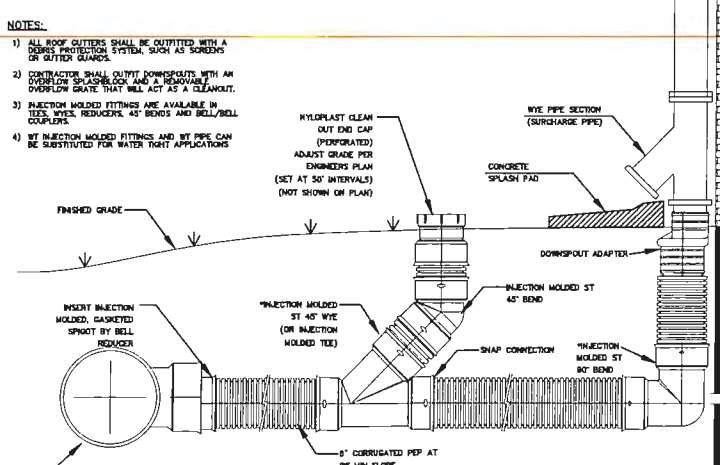
DRIVEWAY CROSS SECTION - IMPERVIOUS (NOT TO SCALE)

**SEQUENCE OF CONSTRUCTION**

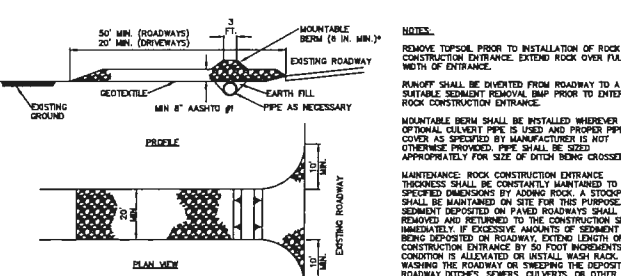
1. SEQUENCE OF CONSTRUCTION:  
 ALL EARTH DISTURBANCE SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION. EACH STAGE/STEP SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE/STEP IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION.
2. EROSION AND SEDIMENT CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREA OF THESE CONTROLS. ONLY LIMITED DISTURBANCE IS PERMITTED TO PROVIDE ACCESS TO THE EROSION AND SEDIMENT CONTROL AREAS FOR GRADING AND ACCURING BORROW TO CONSTRUCT THOSE CONTROLS. THE O/R/P MUST INFORM THE MUNICIPALITY THAT THE APPLICABLE EAS CONTROLS ARE INSTALLED, STABILIZED AND FUNCTIONAL BEFORE INITIATING EARTH DISTURBANCE.
3. WORK AREAS SHALL BE DELINEATED, AND SURVEY CONTROL POINTS SHALL BE PROTECTED. WETLANDS ARE TO BE FENCED OR STAKED IN THE FIELD. THERE IS TO BE NO EARTH DISTURBANCE OR VEGETATIVE CLEARING IN AREAS PROTECTED BY BARRIER FENCE OR STAKES. EARTH DISTURBANCE WITHIN THESE AREAS WITHOUT REQUIRED PERMITS WILL RESULT IN POTENTIAL VIOLATIONS OF COMMONWEALTH AND FEDERAL REGULATIONS. ALL COSTS ASSOCIATED WITH DISTURBANCE OF THESE AREAS WILL BE INCURRED SOLELY AT CONTRACTOR'S EXPENSE.
4. ALL EARTH DISTURBANCES SHALL BE WITHIN THE DELINEATED LIMITS OF DISTURBANCE. NO FILL SHALL BE TAKEN OR PLACED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE.
5. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING THE CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS INCLUDING THE TOWNSHIP ENGINEER, A REPRESENTATIVE FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND THE EAS PLAN PREPARER FOR AN ON-SITE, PRE-APPLICATION MEETING.
6. CONSTRUCTION BEGINS. ANTICIPATED DATE: MAY 2020.
7. COMMENCE DEMO OPERATIONS - STAKE PROPERTY LINE ALONG SHARED EXISTING DRIVEWAY WITH CHALK AND DEMONSTRATE ALIGNMENT WITH EXISTING WALKWAY AND TREE TO BE REMOVED. EXCAVATE LAWN AREA TO EXTEND CONCRETE DRIVEWAY APRON.
8. BOX OUT PROPOSED DRIVEWAY AND ADD STONE SUB-BASE
9. INSTALL THE 20 FT STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS. THIS ENTRANCE MUST BE UTILIZED BY ALL CONSTRUCTION VEHICLES ENTERING/EXITING THE SITE.
10. INSTALL COMPOST FILTER SOCK AS INDICATED ON THE PLANS. COMPOST FILTER SOCK SHALL BE INSTALLED UP-SLOPE OF TREE PROTECTION FENCING.
11. STABILIZE AND INSTALL TEMPORARY GROUND COVER VEGETATION ON GRADED AREAS THAT REMAIN UNDISTURBED DURING BUILDING CONSTRUCTION AND RAIN GARDEN. ANY GRADED OR DISTURBED AREAS MUST BE TEMPORARILY SEEDED IF NO FURTHER EARTH MOVING IS ANTICIPATED IMMEDIATELY. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.
12. INSPECT SEDIMENT BARRIERS FREQUENTLY, ESPECIALLY AFTER HEAVY STORMS. REPLACE AND REPAIR SEDIMENT BARRIERS AS NECESSARY.
13. UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY.
14. REMOVE EXCAVATED MATERIALS NOT REQUIRED FOR FINAL CONSTRUCTION FROM SITE AND DISPOSE OF THEM IN AN APPROVED MANNER.
15. STABILIZE DISTURBED LAWN AREAS: SEED ALL GRADED AREAS TO RE-ESTABLISH VEGETATION. STABILIZE SLOPES IN EXCESS OF 4:1 WITH SOO OR NETTING AND MULCH.
16. PAVE DRIVEWAY: ADD BASE AND WEARING COURSE TO STONE SUB-BASE.
17. REMOVE CONSTRUCTION FENCING AND SPREAD STOCKPILE TOPSOIL OVER REMAINING DISTURBED AREAS. SEED ALL GRADED AREAS TO RE-ESTABLISH VEGETATION. ALL SLOPES IN EXCESS OF 4:1 SHALL BE STABILIZED IMMEDIATELY. INSTALL PROTECTION FROM INLETS. NOTE: CONSULTATION WITH THE COUNTY CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OF ANY TEMPORARY EAS CONTROLS.
18. UPON THE RE-ESTABLISHMENT OF VEGETATION ON ALL DENUDED AREAS, REMOVE ALL SEDIMENT BARRIERS.
19. STABILIZE AND SEED ANY AREAS DISTURBED BY THE REMOVAL OF SEDIMENT BARRIERS.
20. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSISTANCE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
21. CONSTRUCTION FINISHED. ANTICIPATED DATE: JULY 2020.



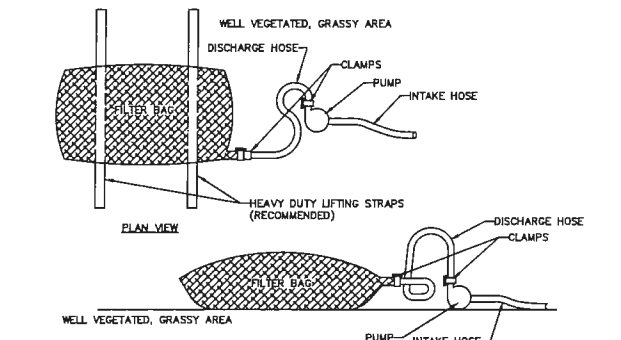
TEMPORARY STOCKPILE DETAIL (NOT TO SCALE)



ROOF DRAIN DETAIL WITH CLEANOUT (NOT TO SCALE)



ROCK CONSTRUCTION ENTRANCE (NOT TO SCALE)



PUMPED WATER FILTER BAG DETAIL (NOT TO SCALE)

**NOTES:**  
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED \"J\" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4584	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4633	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-DROBBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

REVISIONS

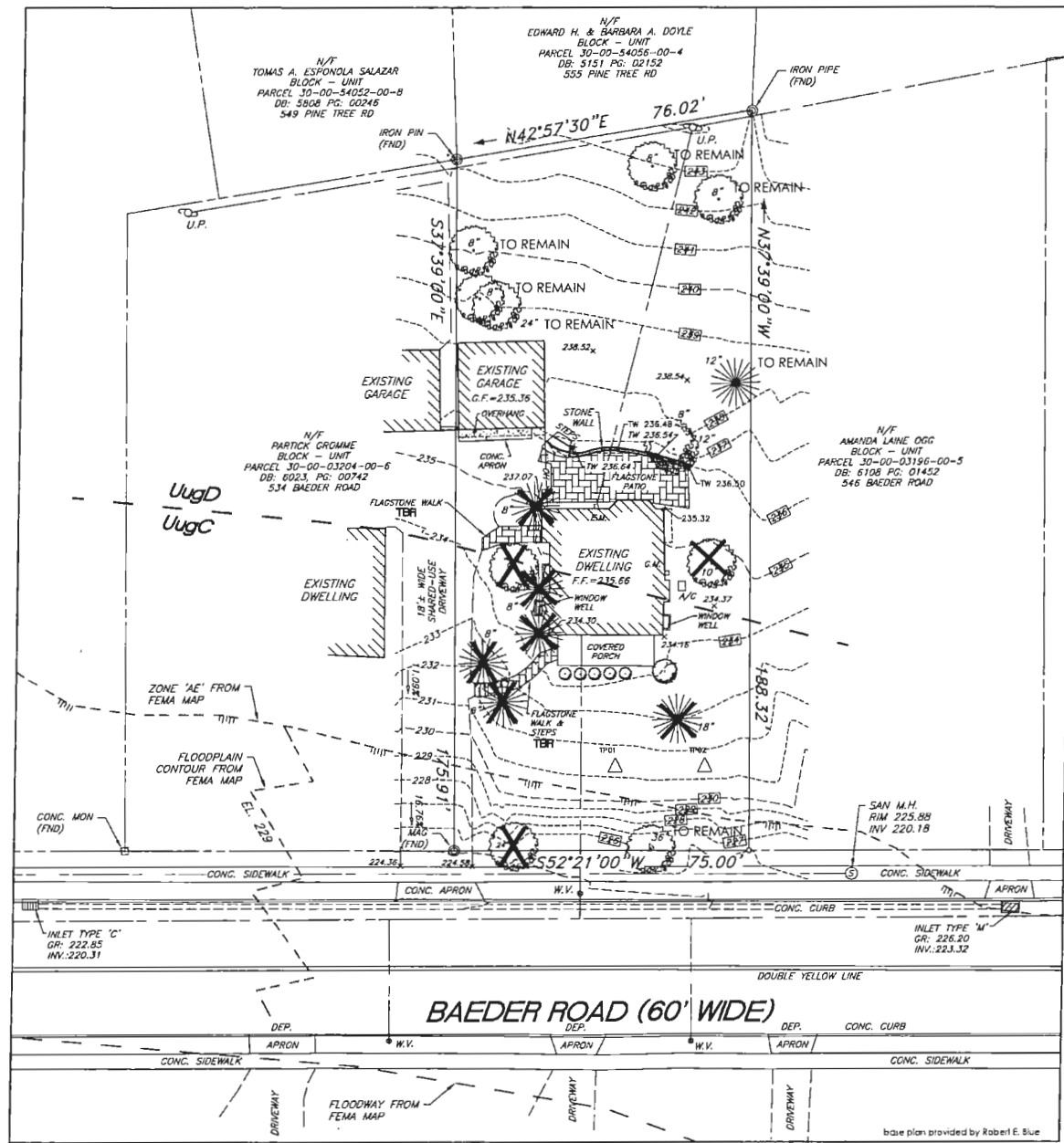
NO.	DATE	DESCRIPTION

**robert e. blue consulting engineers, p.c.**  
 1149 Shiprock Pike, Blue Bell, PA 19422  
 tel: (610)-277-9441 fax: (610)-277-9897  
 www.robertblue.com email: rblue@robertblue.com

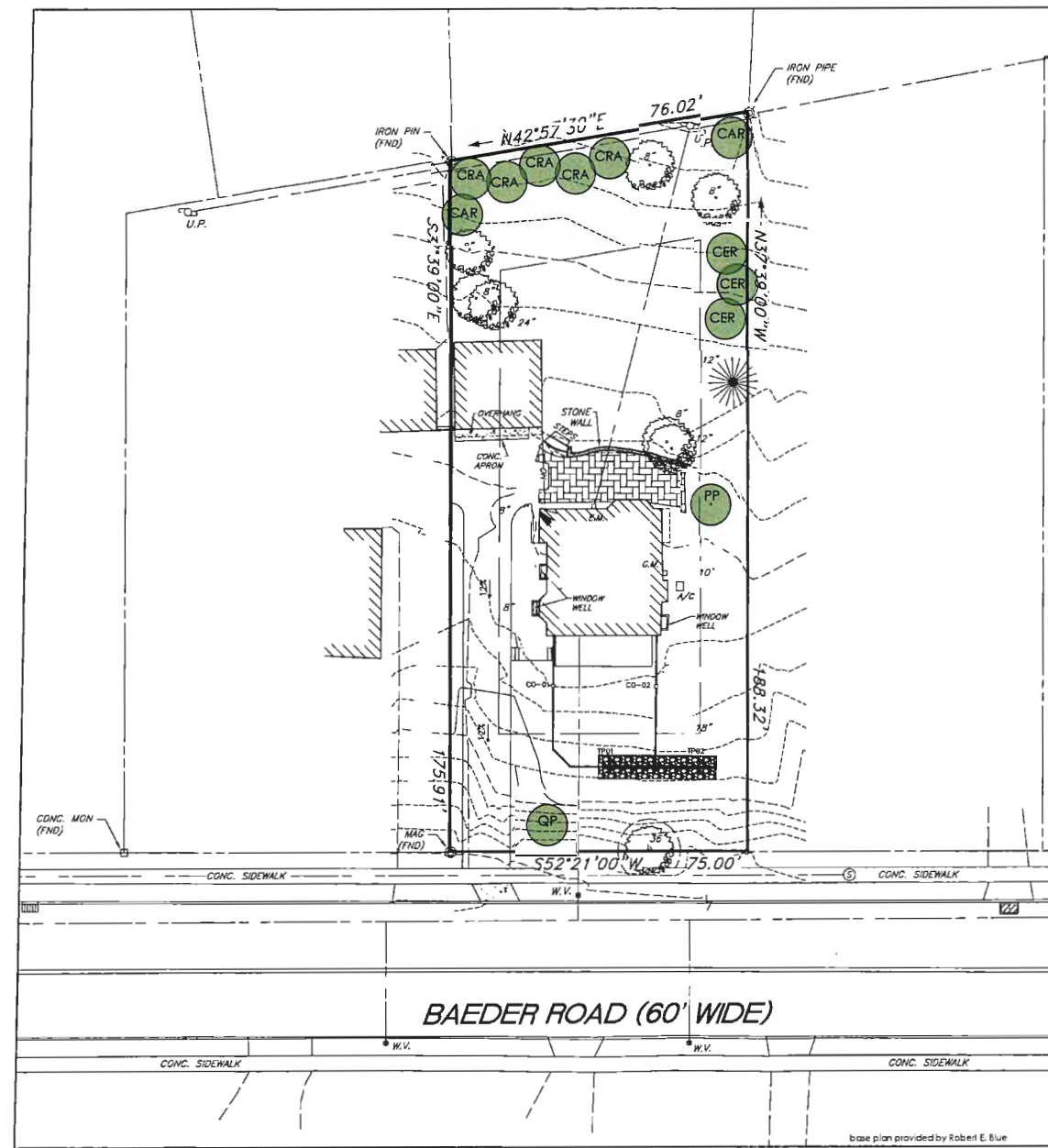


CONSTRUCTION DETAILS  
 540 BAEDER ROAD  
 ABBINGTON TOWNSHIP  
 MONTGOMERY COUNTY  
 PENNSYLVANIA  
 PREPARED FOR  
**VQ PROPERTIES, LLC**  
 1167 WEST BALTIMORE PIKE  
 MEDA PA 19063

DATE	BY	SCALE
04/14/20	LD	NTS



EXISTING FEATURES & DEMOLITION PLAN  
SCALE: 1"=20'



PROPOSED LANDSCAPE PLAN  
SCALE: 1"=20'

LANDSCAPE IMPROVEMENT PLAN

540 Baeder Road  
Ablington Township  
Montgomery County  
Pennsylvania

prepared by  
VQ PROPERTIES, LLC  
1167 West Baltimore Pike  
Media, PA 19063

prepared by  
Stacey E. Nash, M.L.A., R.L.A., PCH-SLC, ASLA  
Parkland Nurseries, LLC  
4820 Hoffmansville Road,  
Orefield, PA 18069  
610.395.2717

ZONING DATA (PROVIDED BY ROBERT E. BLUE CONSULTANTS)  
ZONED: R-3 MEDIUM DENSITY RESIDENTIAL

	REQUIRED	PROPOSED
MIN. LOT AREA:	10,000 S.F.	13,658.81 S.F.
MIN. LOT WIDTH:	75 FT.	75 FT.
MIN. LOT DEPTH:	100 FT.	100 FT.
MAX. BUILDING COVERAGE:	30%	12.2% (1,673 S.F.)
MAX. LOT IMPERVIOUS:	40%	27.2% (3,732.71 S.F.)
YARDS:		
FRONT:	30 FT.	54.85 FT.
SIDE:	2 = 12 FT.	21.93 FT.
REAR:	30 FT.	91.82 FT.
MAX. BUILDING HEIGHT:	35 FT.	35 FT.
MIN. GREEN SPACE:	50%	72.7% (9,924.10 S.F.)
REPLACEMENT TREES:	12	12 (PROVIDED BY STACEY NASH)

SUSTAINABLE LANDSCAPING DESIGN GOALS:

1. BALANCE EXISTING AND FUTURE ENVIRONMENTAL, ECONOMIC, AND SOCIAL NEEDS.
2. RE-ESTABLISH OR MIMIC NATURAL CYCLES (HYDROLOGIC, CARBON, AND NITROGEN).
3. REDUCE THE ECOLOGICAL FOOTPRINT BY STRIVING TO BE CARBON NEUTRAL, WATER NEUTRAL, NUTRIENT NEUTRAL.
4. REDUCE PESTICIDES.
5. INCREASE HABITAT DIVERSITY.

SUSTAINABLE OUTCOME:

THE PROPOSED TREES ARE INDIGENOUS. THEY WILL PROVIDE WILDLIFE VALUE, STORMWATER RINOFF INTERCEPTION & REDUCE CO2.

LEGEND

- 120 --- EXISTING 5' CONTOUR
- 123 --- EXISTING 1' CONTOUR
- 224.58 X --- EXISTING SPOT ELEVATION
- --- EXISTING FENCE
- --- EXISTING PROPERTY LINE
- --- EXISTING ADJACENT PROPERTY LINE
- --- EXISTING CURB
- --- EXISTING EDGE OF DRIVE
- --- EXISTING SOILS LIMIT AND SOILS TYPE
- UugC
- --- EXISTING TREES
- --- EXISTING TREE TO BE REMOVED
- TBR DENOTES 'TO BE REMOVED'
- --- EXISTING GAS MAIN
- --- EXISTING STORM SEWER
- --- EXISTING SANITARY SEWER
- --- EXISTING WATER MAIN
- --- EXISTING OVERHEAD WIRE
- --- EXISTING FLOODPLAIN
- --- EXISTING WATER VALVE
- --- EXISTING INLET
- --- EXISTING UTILITY POLE
- --- EXISTING SAN. MANHOLE
- --- PROPOSED CONTOUR
- --- PROPOSED SETBACK LINE
- --- SILT SOCK (SEE PLAN FOR SIZE)
- --- TREE PROTECTION FENCING
- --- LIMIT OF DISTURBANCE
- --- SOIL TESTING LOCATION

PLAN DATA NOTES

1. THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY COMPLETED BY THIS ROBERT E. BLUE CONSULTANTS ON MARCH 4, 2020.
2. SITE DATA  
CURRENT OWNER: VQ PROPERTIES, LLC  
ADDRESS: 1167 WEST BALTIMORE PIKE  
MEDIA PA 19063  
SITE ADDRESS: 540 BAEDER RD  
JENKINTOWN, PA 19046-1554  
RECORDED DATA: ABLINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA  
TAX MAP: BLOCK 187 - UNIT 92  
TAX NUMBER: PARCEL 30-00-03200-00-1  
DEED BOOK 6170 PAGE 1059
3. LOT AREA  
DEED AREA CLEAR OF ROAD R/W = 13,659 S.F. OR 0.3136 ACRES

GENERAL NOTES

1. SITE DATA HAS BEEN OBTAINED FROM A ROBERT E. BLUE & ASSOCIATES PLAN DATED 4/14/2020, GOOGLE IMAGERY INFORMATION, AND SITE VISIT ON 7/6/2020 BY STACEY E. NASH.
2. TREES REMOVED ARE MARKED WITH AN 'X'. THE REQUIRED REPLACEMENTS ARE PROVIDED IN THE REPLACEMENT PLANT REQUIREMENTS CHART.
3. SLD0 SECTION 146-39-A(2): PLANTING REQUIREMENTS. THE TREES SHALL BE NURSERY STOCK COMPATIBLE WITH THE SOILS, EXISTING TREES AND CLIMATIC CONDITIONS IN THE SUBDIVISION. THEY SHALL BE SYMMETRICAL IN GROWTH, FREE OF INSECTS AND DISEASE AND SUITABLE FOR STREET PLANTING. THE TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF TWO INCHES MEASURED 12 INCHES ABOVE THE GROUND LEVEL. THE TREES SHALL BE PLANTED, STAKED AND MAINTAINED IN ACCORDANCE WITH ACCEPTABLE NURSERY PRACTICES.
4. SLD0 SECTION 146-39-C, GUARANTEE. ALL LANDSCAPING REQUIRED UNDER THIS SECTION AND THE PROVISIONS OF THE ZONING CODE SHALL BE GUARANTEED BY THE SUBDIVIDER/LAND DEVELOPER OR BUILDER FOR A PERIOD OF ONE YEAR AFTER THE TOWNSHIP HAS ISSUED AN OCCUPANCY PERMIT FOR THE PROPERTY. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER/LAND DEVELOPER OR BUILDER TO PROTECT, MAINTAIN AND FEED IF NECESSARY BOTH NEWLY PLANTED AND EXISTING PLANT MATERIALS DURING THIS PERIOD TO ENSURE THAT PLANTS ARE ALIVE AND HEALTHY. AN INSPECTION SHALL BE MADE BY THE TOWNSHIP AT THE END OF THE ONE-YEAR PERIOD. ANY PLANT MATERIALS UNACCEPTABLE AT THE TIME OF INSPECTION SHALL BE REPLACED IN ORDER TO SATISFY THE LANDSCAPING REQUIREMENTS OF THIS SECTION AND THE ZONING CODE.
5. UPON COMPLETION OF THE LANDSCAPE ALL DISTURBED AREAS OF THE SITE MUST BE PLANTED. THIS PROJECT ENCOMPASSES REPLACEMENT TREE PLANTING AND LAWN REPAIR WHERE ANY DISTURBANCE ASSOCIATED WITH PLANTING OF TREES OCCURS.
6. THE LANDSCAPE PLAN HAS BEEN PREPARED BY STACEY E. NASH, M.L.A., R.L.A., PCH-SLC, ASLA. PENNSYLVANIA LICENSE NUMBER LA002538.

ZONING REQUIREMENTS:

REPLACEMENT PLANT REQUIREMENTS ARE AS FOLLOWS:

SECTION 2401. PRESERVATION AND PROTECTION OF EXISTING VEGETATION:

1. PROTECTION FROM CONSTRUCTION
  - (1) ALL TOWNSHIP SHADE TREES SHALL BE PROTECTED FROM PRIVATE OR PUBLIC CONSTRUCTION OPERATIONS OR SITE DEVELOPMENT PRIOR TO THE START OF WORK ON THE SITE. ALL SHADE TREES SHALL BE PROTECTED AT THE OUTERMOST LIMITS OF THE DRIP LINE WITH BOTH BARRY FENCE AND SILT FENCING IN ORDER TO PROTECT BOTH THE SHADE TREE AND THE ROOT SYSTEM. THE DEVELOPER OR OWNER IN CHARGE OF THE SITE SHALL PROVIDE A PLAN TO THE TOWNSHIP CODE OFFICIAL THAT CLEARLY PLOTS THE LOCATIONS OF ALL SHADE TREES AND THE PROTECTION MEASURES TO BE INSTALLED.
2. PRIVATE TREES
  - a. CLEARANCE OVER PUBLIC SIDEWALK. ALL PROPERTIES IN CONTROL OF SHADE TREES WILL MAINTAIN THE SHADE TREE TO ALLOW FOR A MINIMUM OF 9 FT OF CLEARANCE OVER A PUBLIC SIDEWALK AND A MINIMUM OF 16 FT OF CLEARANCE OVER ANY PUBLIC STREET OR HIGHWAY. THE TOWNSHIP WILL BE REQUIRED TO NOTIFY THE PROPERTY OWNER OF ANY AND ALL VIOLATIONS AS PER THE PROVISIONS OF THIS ORDINANCE.
  - b. REPLACEMENT AFTER IMPERVIOUS COVERAGE INCREASE. IF IMPERVIOUS COVERAGE IS INCREASED BY AT LEAST 500 SQUARE FEET, AND SUCH AN INCREASE REQUIRES TREE REMOVAL, EACH REMOVED TREE WITH A CALIPER ≥ 6 INCHES MUST BE REPLACED WITH TWO TREES—EACH WITH A CALIPER ≥ 2.5 IN.
  - c. PUBLIC HEALTH NUISANCES. THE TOWNSHIP MAY REMOVE OR CAUSE TO BE REMOVED ANY DEAD OR DISEASED TREES WITHIN THE TOWNSHIP LIMITS THAT IS DECLARED BY THE TOWNSHIP CODE OFFICIAL OR HIS DESIGNATED REPRESENTATIVE TO BE A PUBLIC HEALTH NUISANCE. THE TOWNSHIP WILL NOTIFY IN WRITING THE OWNER OF SUCH TREES, AND REMOVAL SHALL BE IN ACCORDANCE WITH THIS ORDINANCE. IF THE OWNER DOES NOT ABATE THE PUBLIC HEALTH NUISANCE WITHIN A REASONABLE TIME, THE TOWNSHIP MAY PROCEED WITHOUT NOTICE TO ABATE THE UNLAWFUL CONDUCT AND CHARGE THE ACTUAL COST OF ABATEMENT TO THE PROPERTY OWNER. REMOVAL OF THE TREE WILL ALSO INCLUDE THE REMOVAL OF THE STUMP. THE STUMP WILL BE EITHER REMOVED COMPLETELY OR GROUND DOWN 6 INCHES BELOW GRADE. THE VOID WILL BE FILLED WITH CLEAN SOIL, COMPACTED AND SEDED. THE REMOVED TREE WILL BE REPLANTED OR REPLACED. THE TYPE AND SIZE OF THE TREE PLANTED SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THE APPROVED LIST OF SUITABLE SHADE TREES IN THE SLD0.

REPLACEMENT PLANT SCHEDULE PRIVATE TREE REMOVAL (ZO 2401.A.2.a)

SYM	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
			<b>TREES</b>			
	CAR	2	<i>Carpinus caroliniana</i>	American Hornbeam	2-2.5" caliper	B&B
	CER	3	<i>Cercis canadensis</i>	Eastern Redbud	2-2.5" caliper	B&B
	CRA	5	<i>Crataegus viciifolia</i> 'Winter King'	Hawthorn	2-2.5" caliper	B&B

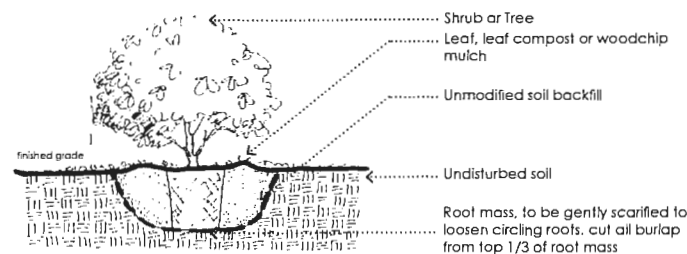
REPLACEMENT PLANT SCHEDULE FOR HAZARD TREES (ZO 2401.A.2.c)

	PIP	1	<i>Picea pungens</i>	Colorado Spruce	7-8' height	B&B
	QP	1	<i>Quercus palustris</i>	Pin Oak	2-2.5" caliper	B&B

\* exceptions are permitted, with approval by Landscape Architect.

TREE REPLACEMENT NOTES:

1. The two 8" plants currently marked as TBR located on either side of the walkway should NOT be counted for replacement. They were NOT trees.
2. A total of 7 trees marked as to be removed and require replacement:  
(1) 18" spruce (public health nuisance)  
(2) REPLACEMENT TREES REQUIRED OF LIKE SPECIES
- (1) 10" deciduous tree
- (3) 8" evergreens
- (1) 8" deciduous tree
- (10) REPLACEMENT TREES REQUIRED
- (12) TOTAL REPLACEMENT TREES REQUIRED
- (12) TOTAL REPLACEMENT TREES PROPOSED



Typical Planting Detail - N.T.S.

REGISTERED LANDSCAPE ARCHITECT



STACEY E. NASH  
LICENSE NO. LA002538



Parkland Nurseries, LLC  
4820 Hoffmansville Road, Orefield, PA 18069  
610.395.2717

