

PENDING CHOP REVIEW/
COMMENT

Abington Twp

**1840 Susquehanna Road
Abington, PA 19001**

Zoned: CS Community Service

Loc 1 (Building ID)

Paint

Surface Painted

- P1 White
White Christmas MP 07275

Digital

Digitally Printed

- D1 CHOP Light Blue PMS 298 C
- D2 CHOP Dark Blue PMS 7692 C

Raceway

Power should be coordinated prior to installation.

Mounting

Fabricator to advise on mounting and support method options

Verify In Field

Fabricator to conduct site visit and verify dimensions and select raceway paint color prior to creating shop drawings (color to match mounting surface must be matched on site)

3" thick face-lit fabricated Logo with Aluminum returns.

Digitally printed Acrylic Face lettering (Acrylite WRT30 [SG] or equivalent), for contrast on surface.

Dark Blue: 7692C / Light Blue: 298C
Internally Illuminated

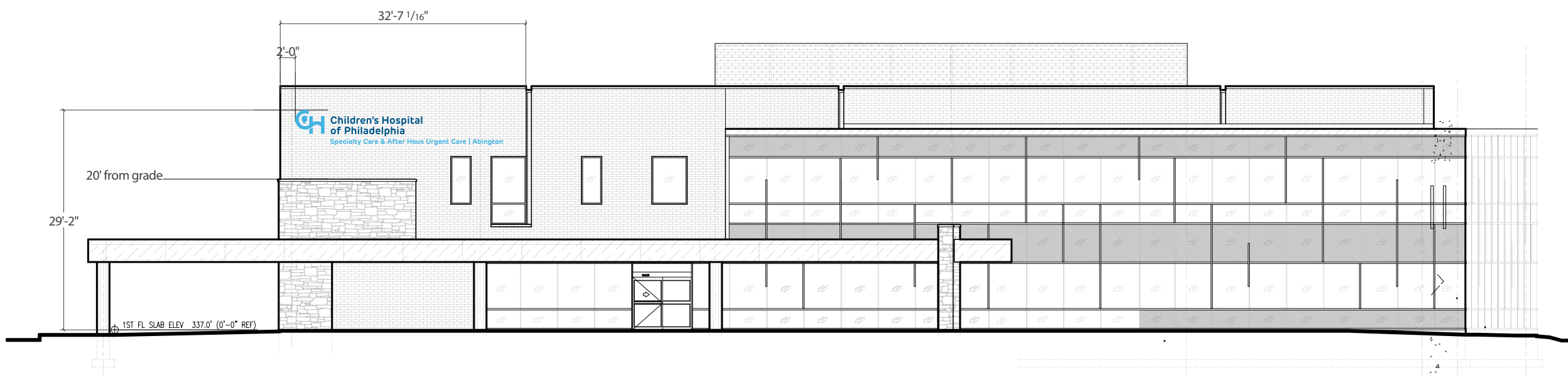
Fabricator to conduct survey and select paint for raceway that matches mounting surface.

Sign Total Area: 140 Sq Ft



1 Detail and Graphic Elevation
Scale: 3/8" = 1'-0"

3" thick face-lit fabricated Logo with Aluminum returns.
Digitally printed Acrylic Face lettering (Acrylite WRT30 [SG] or equivalent)
Dark Blue: 7692C / Light Blue: 298C

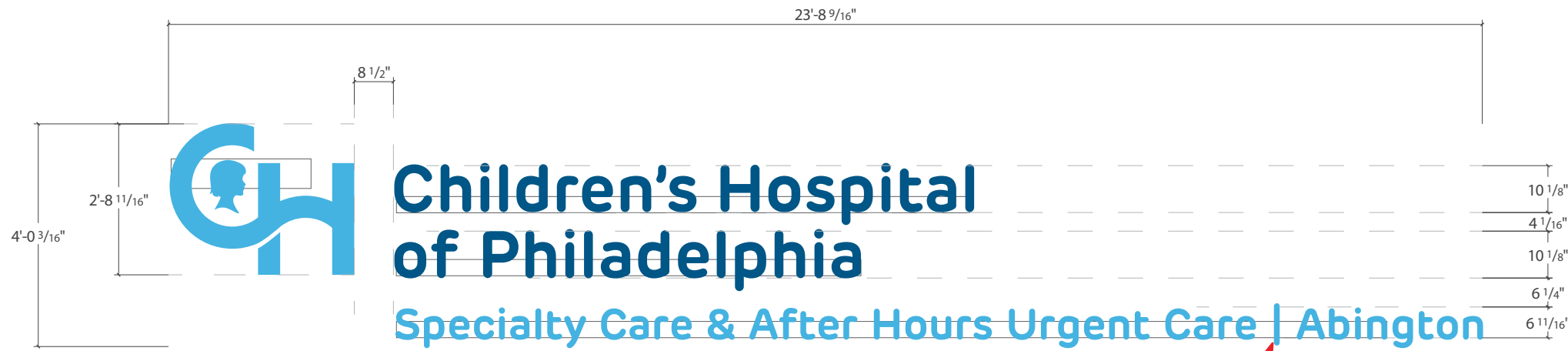


2 Mounting Elevation
Scale: 1/16" = 1'-0"
Fabricator Coordination
Coordinate with contractor, provide blocking & power as required.

Zoning Note (1) Qty of Signs:
Uses forming a campus or complex of buildings may install one wall sign per building unless the building fronts on more than one street front. In this case the building is permitted to install signage on each façade that fronts on a street, access way or shared parking lot.

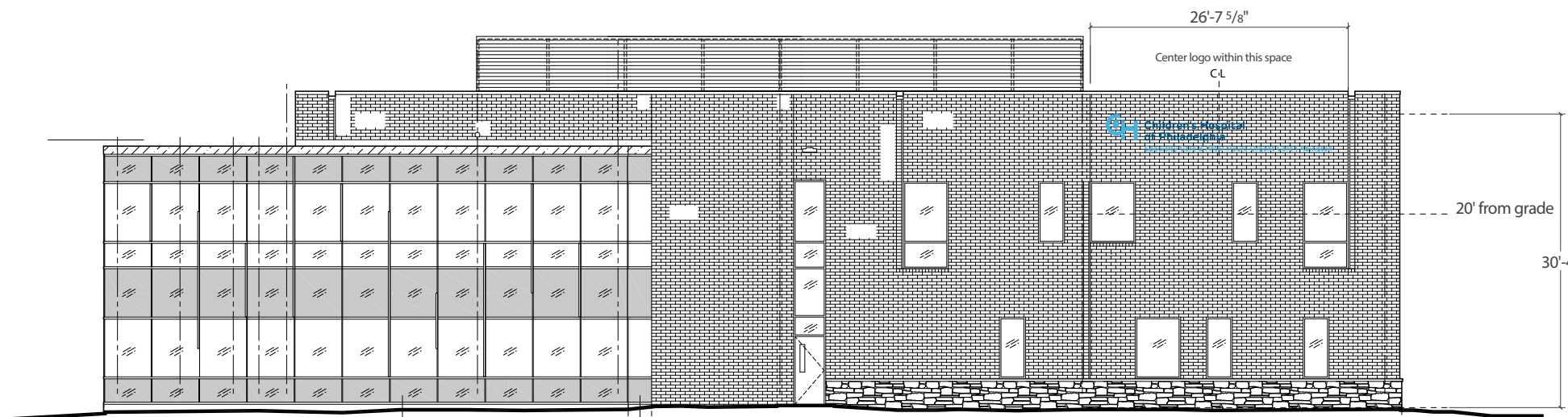
Since there is more than one building on the property, the township may consider us a campus/complex, and allow us to have a wall ID on the building walls that fronts the street and the parking lot.

Zoning Note (2) Mounting Height:
Max Height of sign: 20'
We need to mount higher than 20' from grade due to the windows on the buildings facades.



1 Detail and Graphic Elevation
Scale: 3/8" = 1'-0"

3" thick face-lit fabricated Logo with Aluminum returns.
Digitally printed Acrylic Face lettering
(Acrylite WRT30 [SG] or equivalent)
Dark Blue: 7692C / Light Blue: 298C



2 Mounting Elevation
Scale: 1/16" = 1'-0"

Fabricator Coordination
Coordinate with contractor, provide blocking
& power as required.

Zoning Note (1) Qty of Signs:

Uses forming a campus or complex of buildings may install one wall sign per building unless the building fronts on more than one street front. In this case the building is permitted to install signage on each façade that fronts on a street, access way or shared parking lot.

Since there is more than one building on the property, the township may consider us a campus/complex, and allow us to have a wall ID on the building walls that fronts the street and the parking lot.

Zoning Note (2) Mounting Height:

Max Height of sign: 20'

We need to mount higher than 20' from grade due to the windows on the buildings facades.

Loc 2 (Building ID)

Paint

Surface Painted

- P1 White
White Christmas MP 07275

Digital

Digitally Printed

- D1 CHOP Light Blue PMS 298 C
- D2 CHOP Dark Blue PMS 7692 C

Raceway

Power should be coordinated prior to installation.

Mounting

Fabricator to advise on mounting and support method options

Verify In Field

Fabricator to conduct site visit and verify dimensions and select raceway paint color prior to creating shop drawings (color to match mounting surface must be matched on site)

3" thick face-lit fabricated Logo with Aluminum returns.

Digitally printed Acrylic Face lettering (Acrylite WRT30 [SG] or equivalent), for contrast on surface.

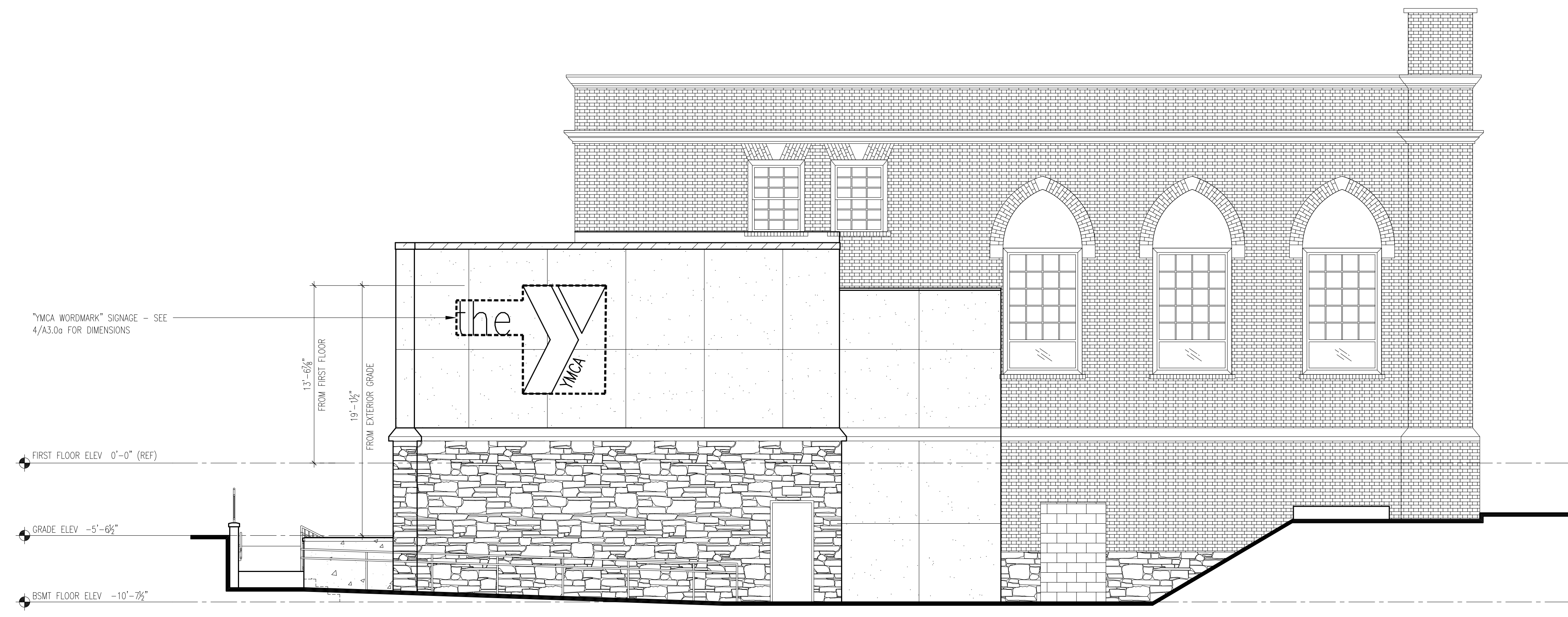
Dark Blue: 7692C / Light Blue: 298C
Internally Illuminated

Fabricator to conduct survey and select paint for raceway that matches mounting surface.

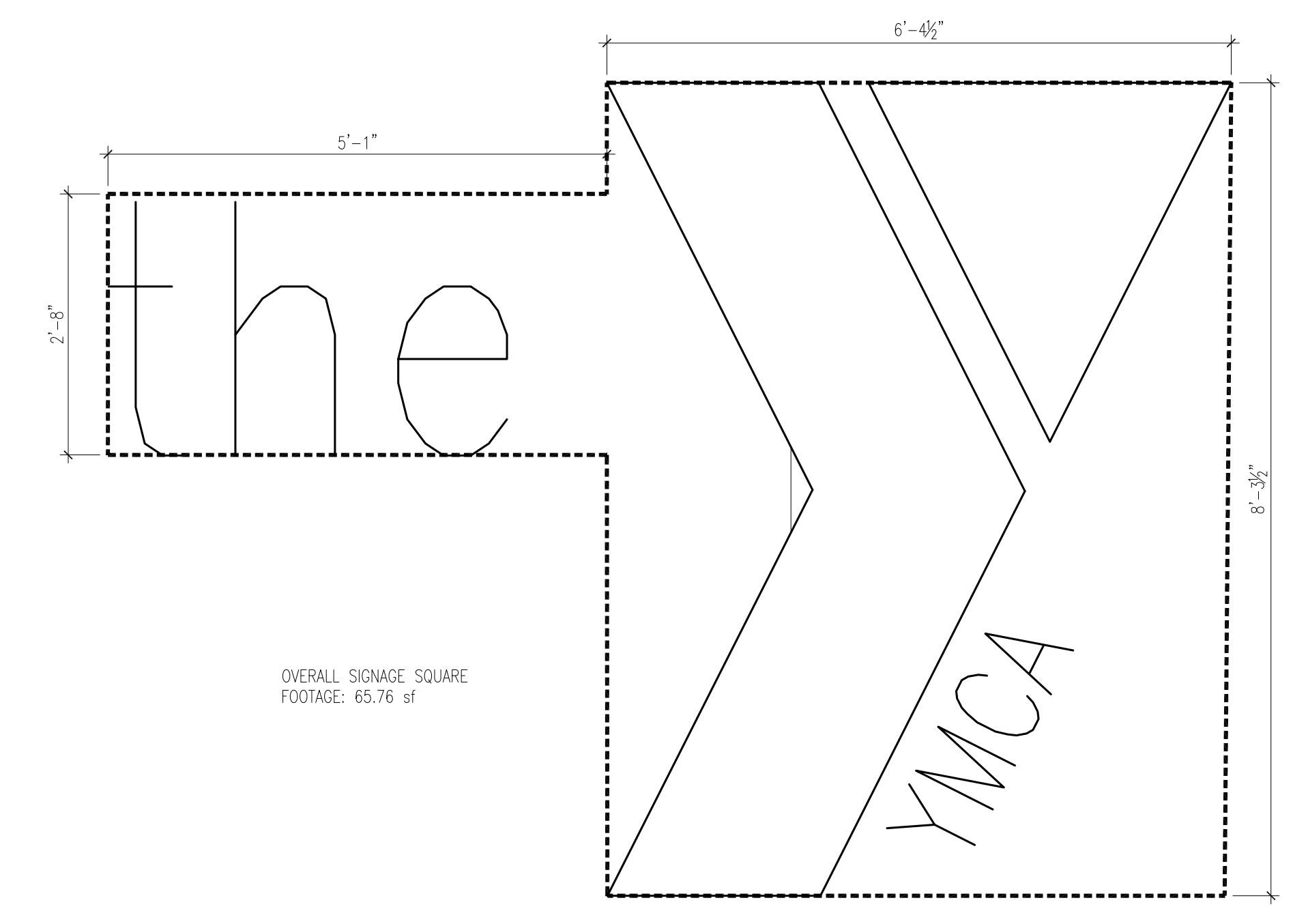
Sign Total Area: 96 Sq Ft

Document History:			
Issue No.	Issue Date	Issued For	Drawn By
1	X	BUDGET PRICING	ABM

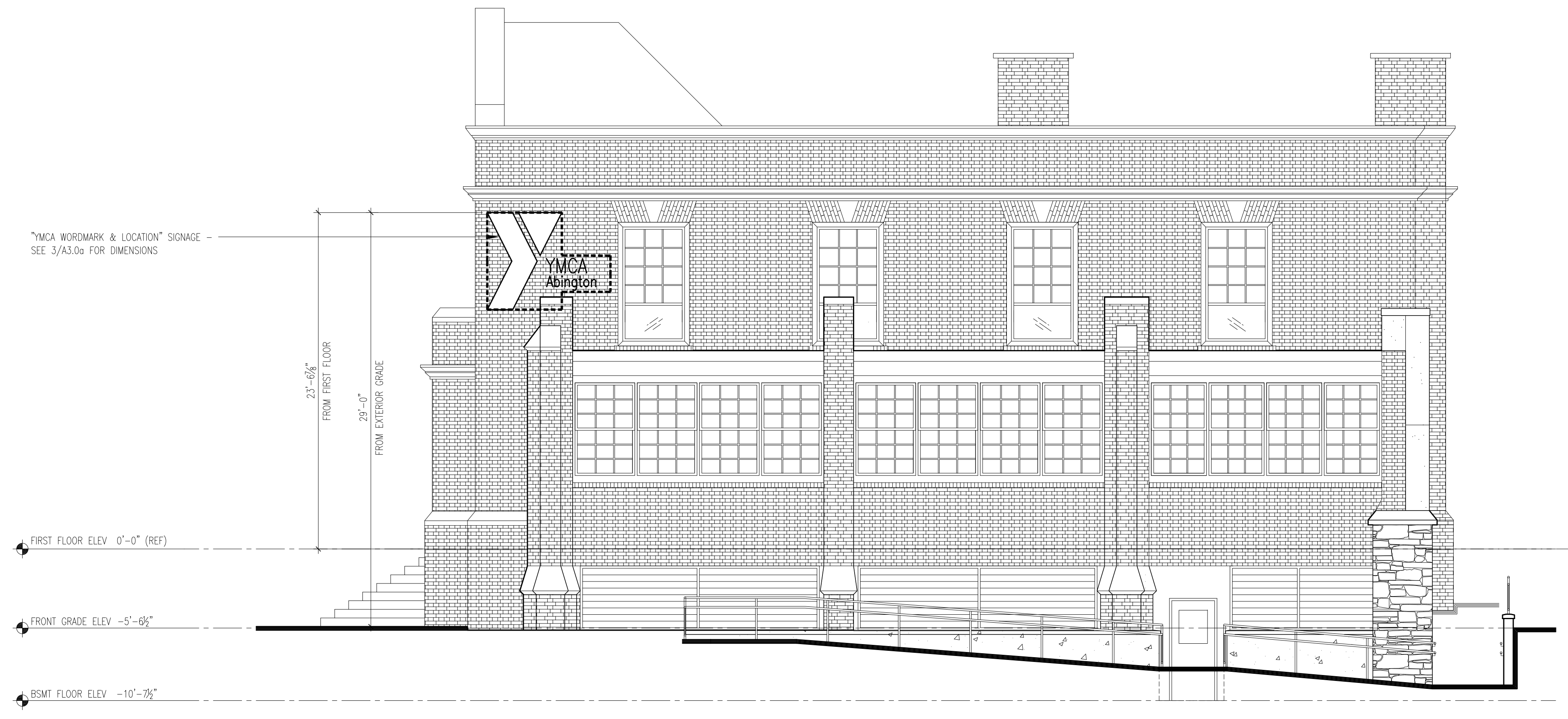
PROGRESS PRINT
FOR COORDINATION PURPOSES
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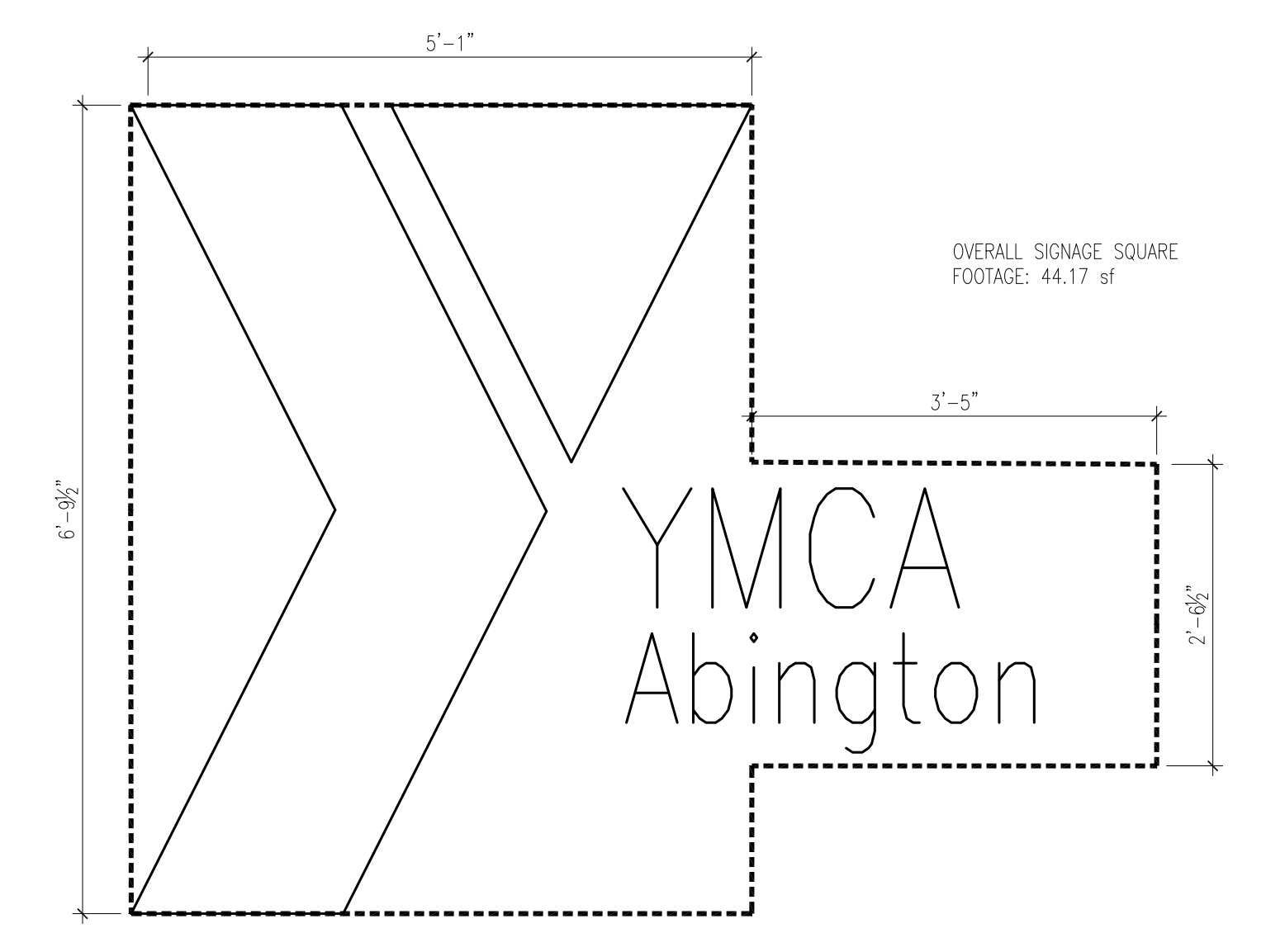
2 NEW WORK ELEVATION - EAST
A3.0a SCALE: 3/16" = 1'-0"



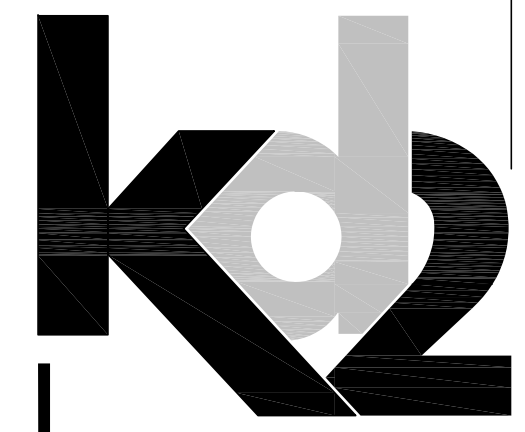
4 "YMCA WORKMARK" SIGNAGE
A3.0a SCALE: 3/4" = 1'-0"



1 NEW WORK ELEVATION - SOUTH
A3.0a SCALE: 3/16" = 1'-0"



3 "YMCA WORKMARK & LOCATION" SIGNAGE
A3.0a SCALE: 3/4" = 1'-0"



ARCHITECT:
k2 architects inc.
875-A W. EASTON RD.
GLENDALE, PA 19038
Tel 215.690.4238
www.k2architects.com

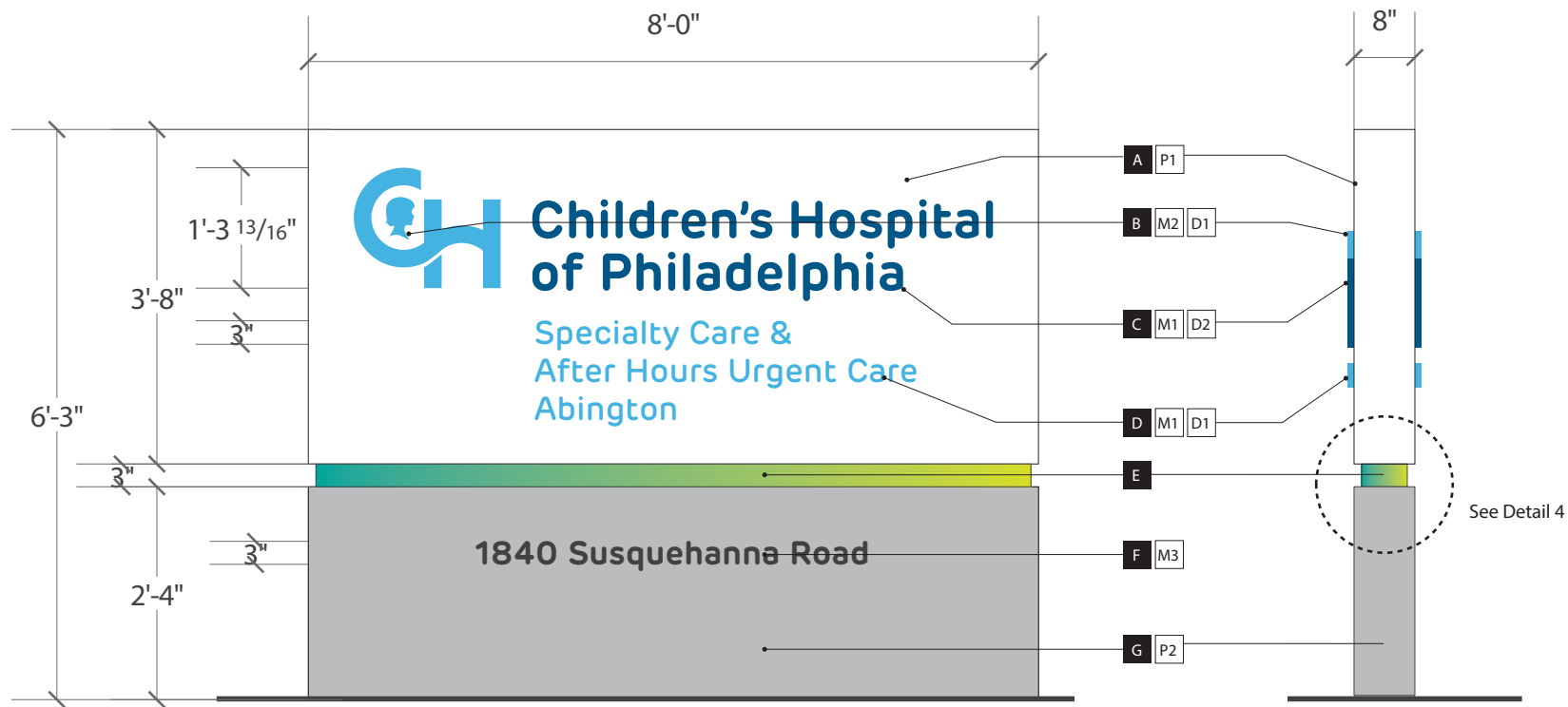
Signature & Seal
1073 Old York Road
(Former YMCA)
Shell Alterations
1073 Old York Road
Abington PA 19001

OWNER:
BET Investments, Inc.
200 Dryden Rd, Suite 2000
Dresher, PA 19025
Tel 215.938.7300
Fax 215.938.8651

Project No: 007-19-19
Project Architect: ABM
Drawn By: ABMAM
Reviewed By: KD
Date: SEPTEMBER 17, 2020
Scale: AS NOTED

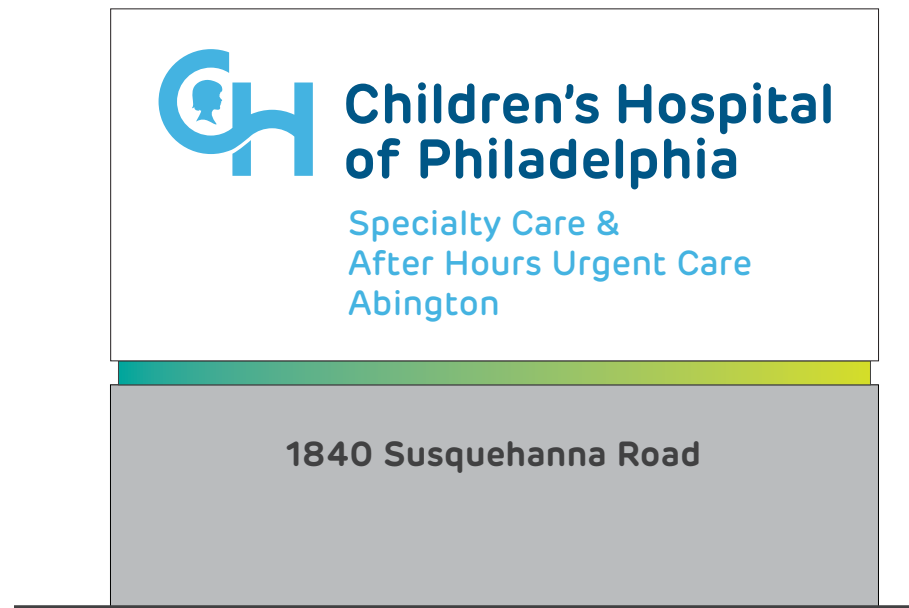
Sheet Title:
ELEVATIONS
SIGNAGE

Sheet No.: **A3.0a**
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1 Side A: Detail and Graphic Elevation
Scale: 1/2" = 1'-0"

2 Side View
Scale: 1/2" = 1'-0"



3 Side B Detail and Graphic Elevation
Scale: 1/2" = 1'-0"

A Internally Illuminated Cabinet
Aluminum tube frame construction. LED lighting required to illuminate messages (push-thru letters). Clad frame with 1/8" thk. aluminum skin/panels. Paint panels and hardware to match colors as noted. Attach skin/panels to frame with countersunk screws.

B Push-thru Letters
1/2" thk. translucent acrylic letters with vinyl applied to first surface. Material and digitally printed color to match as noted. Mary CHOP logo to illuminate blue at night.

C Push-thru Letters
1/2" thk. translucent acrylic letters with vinyl applied to first surface. Material and digitally printed color to match as noted. "Children's Hospital of Philadelphia" to illuminate white at night.

D Push-thru Letters
1/2" thk. translucent acrylic letters with vinyl applied to first surface. Material and digitally printed color to match as noted. Location name to illuminate white at night.

E Color Changing Linear LED strip
Luminii LLX18-RGB Wet
One continuous run of LED tapelight with adequate amount of lead wire to wrap around sign.

F Address
Applied reflective vinyl. Match color and material as noted.

G Skirt
Clad frame with 1/8" thk. aluminum skin/panels. Paint panels and hardware to match colors as noted. Attach skin/panels to frame with countersunk screws.

H Diffuser Panel
Acrylic diffuser panel to hide LED extrusion pocket during the day and diffuse light at night.
Opacity of panel to be studied by fabricator and designer.

J Extrusion
Luminii SlimLine 15 Aluminum Extrusion
Order in lengths of 39", 78" or 118" to be field cut and mitered to appropriate lengths.
Lens for extrusion to be studied by fabricator and designer.

Loc 3 (Monument ID)

as shown 50 sq ft

Materials

Surface Applied

- M1 White Day/Night Vinyl
3M Dual-Color Film White 3635-210
- M2 White Translucent Vinyl
3M Translucent Film White 3630-20
- M3 Black Reflective Vinyl
3M Scotchlite Reflective Film Black 680-85

Paint

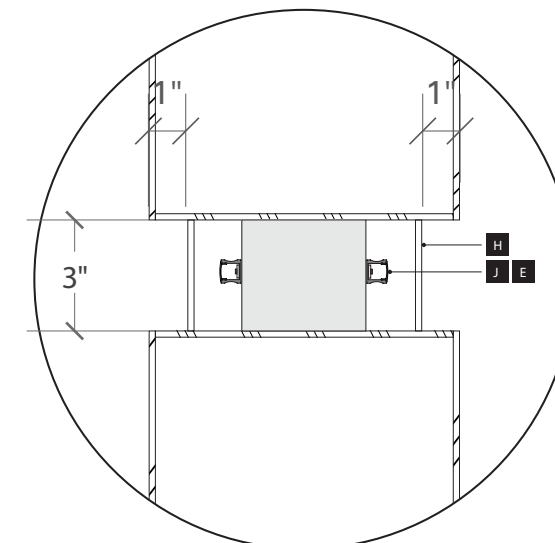
Surface Painted

- P1 White
White Christmas MP 07275
- P2 Grey
Toyota Light Grey MP11938
- P3 Light Grey
Graytint MP 07273
- P4 CHOP Light Blue
Match PMS 298 C
- P5 CHOP Dark Blue
PMS 7692 C

Digital

Digitally Printed

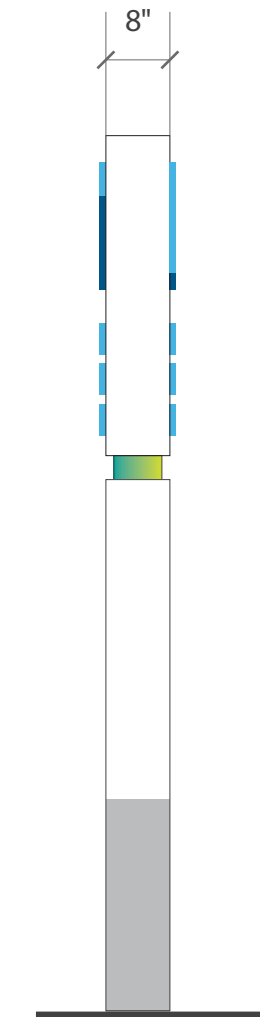
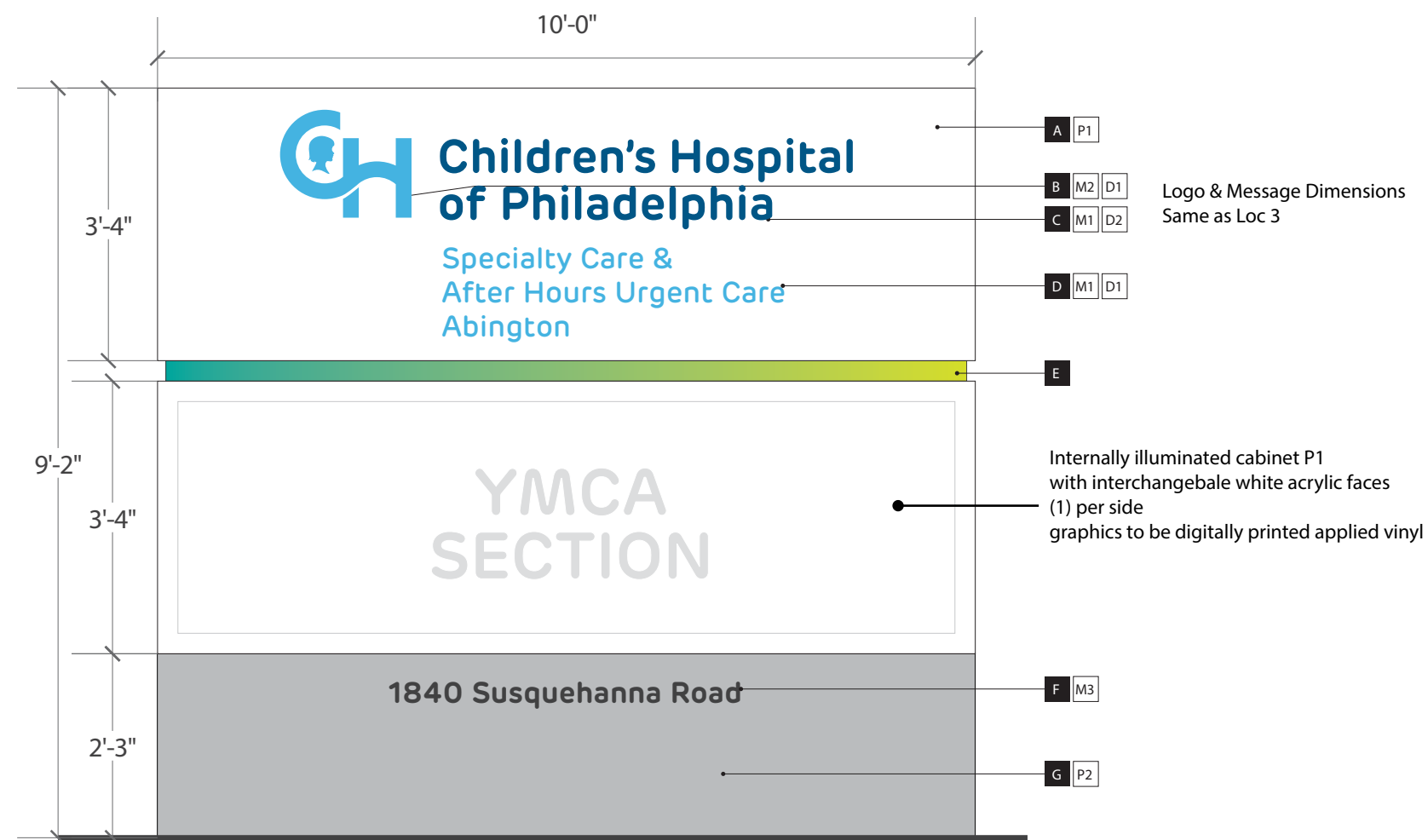
- D1 CHOP Light Blue PMS 298 C
- D2 CHOP Dark Blue PMS 7692 C



4 Detail View
NTS

Loc 4 (Shared Monument ID)

See Loc 3 for standard material, process, and paint spec
as shown 92 sq ft



1 Side A & Side B: Detail and Graphic Elevation
Scale: 1/2" = 1'-0"

2 Side View
Scale: 1/2" = 1'-0"

SITE DESIGN REQUIREMENTS

REQUIREMENTS ARE BASED ON THE FOLLOWING:
 - THE ZONING ORDINANCE OF THE TOWNSHIP OF ABINGTON, MONTGOMERY COUNTY, PENNSYLVANIA
 - EXISTING ZONING DISTRICT: AO APARTMENT-OFFICE DISTRICT

EXISTING ADDRESSES
 1059, 1067 AND 1073 OLD YORK ROAD
 ABINGTON PA 19001

PROPOSED ADDRESSES
 PROPOSED LOT 1 (SCHOOL):
 1073 OLD YORK ROAD
 ABINGTON PA 19001

PROPOSED LOT 2 (SHOP):
 1840 SUSQUAHANNA ROAD
 ABINGTON PA 19001

PROPOSED USES:
 E-4B: DAY CARE CENTER, CHILD
 F-2: MEDICAL OFFICE

LOT AREA CALCULATION PER SECTION 201 - SPECIFIC DEFINITIONS

LOT AREA: THE AREA CONTAINED WITHIN THE PROPERTY LINES OF A LOT AS SHOWN ON A SUBDIVISION OR LAND DEVELOPMENT PLAN, EXCLUDING SPACE WITHIN AN EXISTING OR FUTURE RIGHT-OF-WAY, BUT INCLUDING THE AREA OF ANY EASEMENT.	TOTAL TRACT AREA (TO TITLE LINES): ULTIMATE R.O.W. OF OLD YORK ROAD: ULTIMATE R.O.W. OF SUSQUAHANNA ROAD:	221,120 S.F. (5.076 Ac) - 11,382 S.F. (0.261 Ac) - 12,859 S.F. (0.293 Ac) 197,149 S.F. (4.526 Ac)
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OTHER DISTRICT REGULATIONS FOR AO APARTMENT-OFFICE DISTRICT PER SECTION 703

REQUIREMENT	COMPLIANCE
A. PARKING - SHALL BE LOCATED TO THE SIDE OR REAR OF THE PRINCIPAL BUILDING FOR DEVELOPMENTS WITH MULTIPLE PRINCIPAL BUILDINGS. PARKING SHALL NOT BE LOCATED BETWEEN THE STREET AND THE CLOSEST PRINCIPAL BUILDING TO THE STREET. THE PRINCIPAL BUILDING SHALL BE LOCATED CLOSER TO THE CORNER THAN THE PARKING IS.	COMPLIES.
B. ACCESS - NO MORE THAN ONE ACCESS POINT PER STREET IS PERMITTED.	COMPLIES.
E. LARGE APARTMENT AND OFFICE BUILDINGS. THE GREATEST DIMENSION IN LENGTH OR DEPTH OF AN OFFICE OR APARTMENT BUILDING USE SHALL NOT EXCEED 160 FEET WITHOUT A MINIMUM 5-FOOT OFFSET IN THE EXTERIOR WALL (AT AN ANGLE OF AT LEAST 90°).	COMPLIES.
1. THE DISTANCE BETWEEN BUILDINGS AND THE DISTANCE FROM ANY BUILDING TO THE PROPERTY LINE SHALL NOT BE LESS THAN TWO THIRDS THE GREATEST DIMENSION IN LENGTH OR DEPTH OF THE LARGEST BUILDING ON THE SITE.	COMPLIES.
2. THERE SHALL BE NO UNBROKEN FRONT OR SIDE FACADES OVER 100 FEET IN LENGTH AND NO INTERIOR COURTS SHALL BE PERMITTED.	COMPLIES.
3. TRASH, STORAGE, AND LOADING SHALL BE LOCATED TO THE SIDE OR REAR.	COMPLIES.

AO APARTMENT-OFFICE DISTRICT: DIMENSIONAL REQUIREMENTS PER FIGURE 7.5 (FOR OTHER OR MIXED USES)

REQUIREMENT	EXISTING	PROPOSED
MINIMUM TRACT AREA:	15,000 S.F.	221,120 S.F. (5.076 Ac) (TO TITLE LINE)
MINIMUM LOT AREA:	15,000 S.F.	197,149 S.F. (4.526 Ac)
MINIMUM LOT WIDTH ¹ :	100.0'	349.8' (ALONG OLD YORK ROAD)
MINIMUM LOT DEPTH ² :	100.0'	163.7'
MINIMUM FRONT YARD SETBACK:	25.0'	80.8'
MINIMUM SIDE YARD SETBACK:	25.0' (2 YARDS)	20.1'
MINIMUM REAR YARD SETBACK:	30.0'	0.1'*
MAXIMUM BUILDING COVERAGE ³ :	35.0%	19.2% (37,869 S.F.)
MAXIMUM IMPERVIOUS COVERAGE:	60.0%	57.3% (112,890 S.F.)
MINIMUM GREEN AREA:	40.0%	42.7% (84,256 S.F.)
MAXIMUM BUILDING HEIGHT ⁴ :	40.0'	<40.0'
MINIMUM BUILDING SEPARATION:	20.0'	N/A
MAXIMUM BUILDING LENGTH:	160.0'	248.0'

- LOT WIDTH IS DEFINED IN SECTION 201 AS THE DISTANCE MEASURED BETWEEN LOT LINES, OTHER THAN THE FRONT AND REAR LOT LINES, AT THE FRONT BUILDING SETBACK, BUILD-TO-LINE, OR PORTION OF THE BUILD-TO-ZONE CLOSEST TO THE STREET.
 - LOT DEPTH IS DEFINED IN SECTION 201 AS THE AVERAGE DISTANCE BETWEEN THE FRONT AND REAR LOT LINES.
 - BUILDING COVERAGE IS DEFINED IN SECTION 201 AS THE TOTAL AMOUNT OF LAND AREA COVERED BY THE FOOTPRINTS OF ALL PRINCIPAL AND ACCESSORY BUILDINGS AND STRUCTURES ON A LOT. THIS TERM IS DESCRIBED AS A RATIO OF TOTAL COVERED LAND AREA TO THE TOTAL LOT AREA.
 - BUILDING HEIGHT IS DEFINED IN SECTION 201 AS THE VERTICAL DISTANCE FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE ROOF SURFACE.
- * EXISTING NON-CONFORMITY.

USE REQUIREMENTS PER SECTION 2103

USE A-13: FENCES AND WALLS

REQUIREMENT	COMPLIANCE
1. UNLESS OTHERWISE REGULATED, THE MAXIMUM HEIGHT OF FENCES AND WALLS SHALL BE SIX FEET (6').	COMPLIES. THE PROPOSED FENCE FOR THE DAY CARE PLAY AREA, WHICH IS LOCATED IN THE FRONT YARD, IS 4'. THE PROPOSED FENCES FOR THE RAIN GARDEN AREAS ARE BOTH 4'.
2. THE MAXIMUM PERMITTED HEIGHT OF FENCES AND WALLS SHALL BE 4 FEET IN THE REQUIRED FRONT YARD AREA AND 6 FEET IN THE REQUIRED SIDE OR REQUIRED REAR YARD.	COMPLIES. THE PROPOSED FENCE FOR THE DAY CARE PLAY AREA IS A CHAIN LINK FENCE AND WILL BE VINYL COATED.
7. CHAIN LINK FENCES SHALL BE VINYL-COATED.	COMPLIES. THE PROPOSED FENCE FOR THE DAY CARE PLAY AREA IS A CHAIN LINK FENCE AND WILL BE VINYL COATED.

USE E-4B: DAY CARE CENTER; CHILD

REQUIREMENT	COMPLIANCE
4. MINIMUM INDOOR SQUARE FOOTAGE. THERE SHALL BE PROVIDED A MINIMUM OF FORTY (40) SQUARE FEET OF SPACE FOR EACH CHILD, EXCLUDING FOR SUCH CALCULATION HALLS, KITCHEN, STAFF AREAS, UTILITY ROOMS AND BATHROOM AREAS.	COMPLIES. BASED ON 100 CHILDREN, 4,000 S.F. IS REQUIRED AND 8,750 S.F. IS PROPOSED.
7. THE LOCATION OF THE WASTE AREA SHALL BE TO THE REAR OF THE PRINCIPAL BUILDING.	COMPLIES. A REFUSE AREA IS LOCATED TO THE REAR.
8. A DROP-OFF-PICK-UP AREA SHALL BE PROVIDED.	COMPLIES. IT IS INTENDED THAT CHILDREN SHALL BE WALKED INTO THE FACILITY.
9. MINIMUM PARKING AREA SETBACKS: a. (1) FROM ULT. R.O.W. FOR PARKING AREAS WITH 25 OR MORE SPACES: 50' b. FROM BUILDINGS: 10' c. (1) FROM RESIDENTIAL USE LOT LINES: 50'	50.0' 21.0' 20.7'*

USE F-2: MEDICAL CLINIC OR OFFICE

REQUIREMENT	COMPLIANCE
SUCH USE SHALL INCLUDE A BUILDING OR GROUP OF BUILDINGS FOR THE OFFICE OF MORE THAN ONE DENTIST AND/OR PHYSICIAN, OR FOR MULTIPLE OFFICES BY A GROUP OF DENTISTS AND PHYSICIANS WHOSE PRACTICES ARE NOT RELATED, AND ARE USED FOR THE DIAGNOSIS, EXAMINATION, SURGERY, OR OTHER TREATMENT OF PERSONS AS OUTPATIENTS. SUCH USE MAY INCLUDE USES SUCH AS RECEPTION AREAS, WAITING AREA, CONSULTATION ROOMS, X-RAY AND MINOR OPERATING ROOMS AND A DISPENSARY, PROVIDING THAT ALL SUCH USES HAVE ACCESS ONLY FROM THE INTERIOR OF THE BUILDING OR STRUCTURE.	COMPLIES.

PARKING USE REQUIREMENTS PER SECTION 2304

REQUIREMENT	COMPLIANCE
USE E-4B (DAY CARE): 1. PARKING SPACE FOR EVERY 200 SQUARE FEET OF FLOOR AREA DEVOTED TO THE USE, OR ONE SPACE FOR EACH EMPLOYEE, PLUS ONE SPACE FOR EVERY 10 PERSONS OF LICENSE CAPACITY, IN ADDITION TO PARKING REQUIRED FOR THE RESIDENCE, IF APPLICABLE.	10 EMPLOYEES + 100 CHILDREN/10 = 20 SPACES REQUIRED. 37 SPACES ARE PROVIDED (INCLUDING 2 ADA SPACES) (INCLUSIVE OF 7 SPACES IN RESERVE)
USE F-2: MEDICAL OFFICE: 1. PARKING SPACE FOR EVERY 200 SQUARE FEET OF GROSS FLOOR AREA ¹	37,063 S.F. / 200 = 185.3 = 186. 186 SPACES ARE PROVIDED (INCLUDING 6 ADA SPACES)

¹ PER SECTION 2305.B. UNLESS OTHERWISE STATED, PARKING SPACE REQUIREMENTS ARE CALCULATED USING THE GROSS LEASABLE FLOOR AREA OF A BUILDING. THE GROSS LEASABLE FLOOR AREA IS CALCULATED BY DETERMINING THE SUM OF ALL FLOOR AREAS OF A BUILDING CAPABLE OF BEING DEVOTED TO A PRINCIPAL OR ACCESSORY USE OF AN OCCUPANT OR TENANT, AS MEASURED BY THE EXTERIOR BUILDING WALLS, MINUS FLOOR AREA OF THE BUILDING DEVOTED TO: 1. BASEMENT AND CRAWL SPACE UTILIZED AS STORAGE, 2. MECHANICAL AND BUILDING UTILITY SPACES, 3. COMMON HALLWAYS AND STAIRWAYS, 4. AESTHETIC LOBBIES, ETC.

ELECTRIC VEHICLE PARKING PER SECTION 2308

REQUIREMENT	COMPLIANCE
IN PARKING LOTS WITH OVER 100 SPACES, AT LEAST 3 SPACES OUT OF EACH 100 SPACES SHALL BE RESERVED FOR ELECTRIC OR HYBRID VEHICLES.	COMPLIES. 7 SPACES HAVE BEEN PROVIDED FOR THE MEDICAL OFFICE PARKING LOT (ON THE SOUTH SIDE OF THE BUILDING).

PARKING LOT AND FRONTAGE DEVELOPMENT STANDARDS PER SECTION 2310

REQUIREMENT	COMPLIANCE
D. IN NO CASE SHALL A BUILDING BE LOCATED CLOSER THAN 5 FEET TO A PARKING AREA OR ACCESS DRIVE.	COMPLIES.

OFF-STREET LOADING REQUIREMENTS PER SECTION 2312

REQUIREMENT	COMPLIANCE
F. A REQUIRED LOADING BERTH SHALL BE AT LEAST 15' IN WIDTH BY AT LEAST 50' IN LENGTH.	COMPLIES. AN AREA 15'X50' IS PROVIDED FOR THE MEDICAL OFFICE.

COMMUNITY DEVELOPMENT STANDARDS PER SECTION 2601.B

REQUIREMENT	COMPLIANCE
3.a. NO DELIVERY OF INVENTORY, MERCHANDISE, GOODS, OR OTHER PRODUCTS SHALL OCCUR BETWEEN THE HOURS OF 10:00 P.M. AND 6:00 A.M. TO ANY PROPERTY ADJOINING A RESIDENTIAL ZONING DISTRICT.	COMPLIES. A NOTE TO THIS EFFECT HAS BEEN PROVIDED ON THE PLANS.
3.b. NO TRASH OR RUBBISH REMOVAL SHALL OCCUR BETWEEN THE HOURS OF 10:00 P.M. AND 6:00 A.M. TO ANY PROPERTY ADJOINING A RESIDENTIAL ZONING DISTRICT.	COMPLIES.

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	07/25/2019	GENERAL REVISIONS	J.C.F.	C.J.B.
2	09/04/2019	GENERAL REVISIONS	J.C.F.	C.J.B.
3	10/21/2019	GENERAL REVISIONS	J.C.F.	C.J.B.
4	11/04/2019	MCCD COMMENTS	J.C.F.	C.J.B.
5	11/21/2019	GENERAL REVISIONS	J.C.F.	C.J.B.
6	12/18/2019	PER TOWNSHIP COMMENTS	J.C.F.	C.J.B.
7	01/22/2020	GENERAL REVISIONS	J.C.F.	C.J.B.

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PROJECT No.:	PC171161
DRAWN BY:	J.C.F.
CHECKED BY:	C.J.B.
DATE:	05/17/2019
SCALE:	1"=30'
CAD I.D.:	PC171161DETAIL-7

PROJECT:
PRELIMINARY/FINAL MAJOR SUBDIVISION AND LAND DEVELOPMENT PLANS
 FOR
ABINGTON TERRACE, LLC
 CHOP ABINGTON
 1059, 1067 & 1073 OLD YORK ROAD
 ABINGTON TOWNSHIP
 MONTGOMERY COUNTY
 PENNSYLVANIA
 19001

BOHLER ENGINEERING
 1600 MANOR DRIVE, SUITE 200
 CHALFONT, PA 18914
 Phone: (215) 996-9100
 Fax: (215) 996-9102
www.BohlerEngineering.com

C.J. BOCK
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE No. PE076132
 NEW JERSEY LICENSE No. 242E06193800
 FLORIDA LICENSE No. 63062

SHEET TITLE:
NOTES SHEET
 SHEET NUMBER:
C-103
 3 OF 29
 REVISION 7 - 2020 01 22

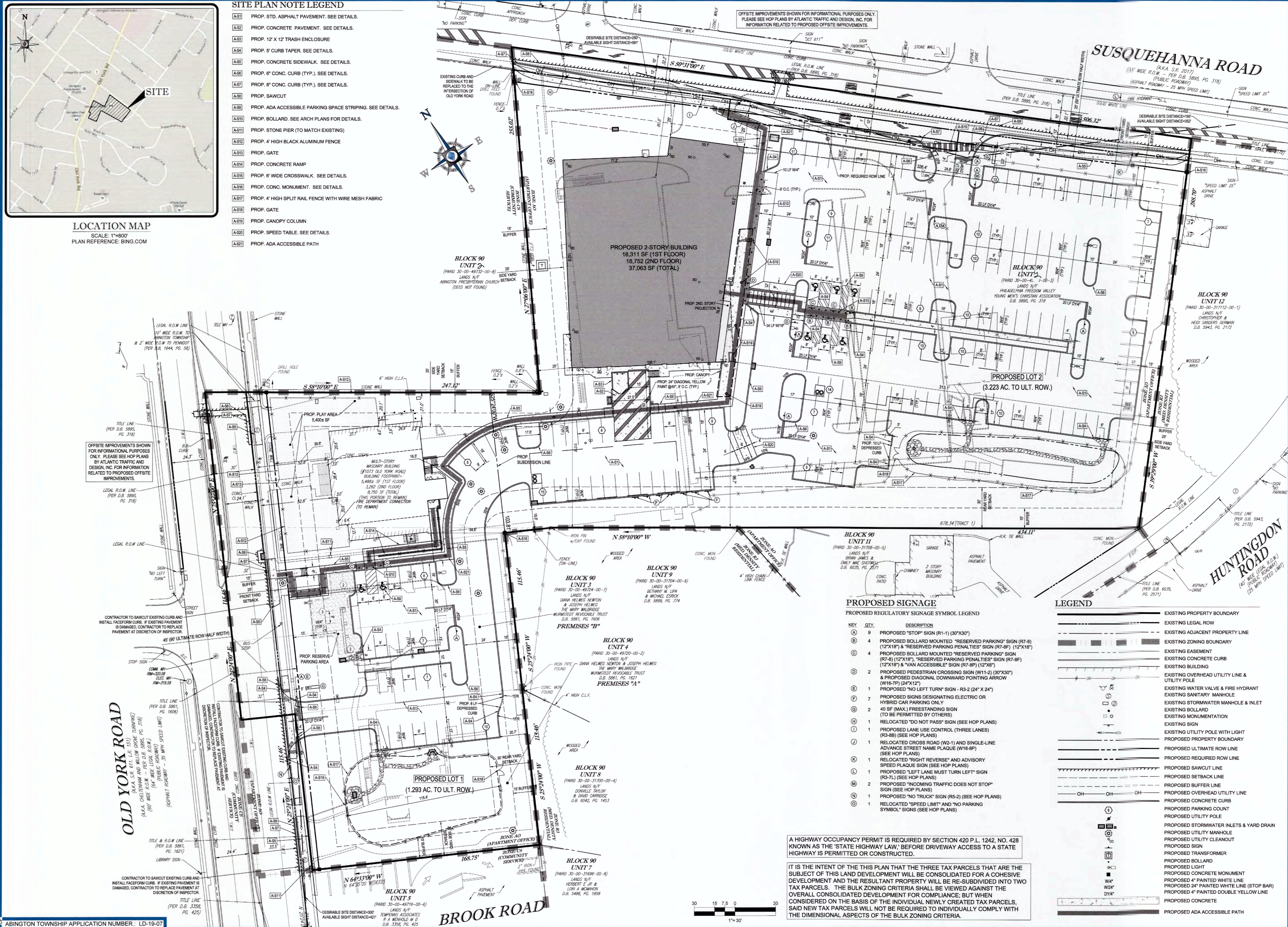
R:\T\PC171161\DRAWINGS\PLAN SETS\LAND DEV\REV-7\PC171161DETAIL-7---LAYOUT_C-103 NOTES SHEET



LOCATION MAP
SCALE: 1"=800'
PLAN REFERENCE: BING.COM

SITE PLAN NOTE LEGEND

- A.S1 PROP. STD. ASPHALT PAVEMENT. SEE DETAILS.
- A.S2 PROP. CONCRETE PAVEMENT. SEE DETAILS.
- A.S3 PROP. 12' X 12' TRASH ENCLOSURE
- A.S4 PROP. 5' CURB TAPER. SEE DETAILS.
- A.S5 PROP. CONCRETE SIDEWALK. SEE DETAILS.
- A.S6 PROP. 6" CONC. CURB (TYP.). SEE DETAILS.
- A.S7 PROP. 6" CONC. CURB (TYP.). SEE DETAILS.
- A.S8 PROP. SAWCUT
- A.S9 PROP. ADA ACCESSIBLE PARKING SPACE STRIPING. SEE DETAILS.
- A.S10 PROP. BOLLARD. SEE ARCH PLANS FOR DETAILS.
- A.S11 PROP. STONE PIER (TO MATCH EXISTING)
- A.S12 PROP. 4' HIGH BLACK ALUMINUM FENCE
- A.S13 PROP. GATE
- A.S14 PROP. CONCRETE RAMP
- A.S15 PROP. 6' WIDE CROSSWALK. SEE DETAILS.
- A.S16 PROP. CONC. MONUMENT. SEE DETAILS.
- A.S17 PROP. 4' HIGH SPLIT RAIL FENCE WITH WIRE MESH FABRIC
- A.S18 PROP. GATE
- A.S19 PROP. CANOPY COLUMN
- A.S20 PROP. SPEED TABLE. SEE DETAILS.
- A.S21 PROP. ADA ACCESSIBLE PATH



OFFSITE IMPROVEMENTS SHOWN FOR INFORMATIONAL PURPOSES ONLY. PLEASE SEE HOP PLANS BY ATLANTIC TRAFFIC AND DESIGN, INC. FOR INFORMATION RELATED TO PROPOSED OFFSITE IMPROVEMENTS.

OFFSITE IMPROVEMENTS SHOWN FOR INFORMATIONAL PURPOSES ONLY. PLEASE SEE HOP PLANS BY ATLANTIC TRAFFIC AND DESIGN, INC. FOR INFORMATION RELATED TO PROPOSED OFFSITE IMPROVEMENTS.

CONTRACTOR TO SAWCUT EXISTING CURBS AND INSTALL FACEFORM CURBS. IF EXISTING PAVEMENT IS DAMAGED, CONTRACTOR TO REPLACE PAVEMENT AT DISCRETION OF INSPECTOR.

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A HIGHWAY OCCUPANCY PERMIT IS REQUIRED BY SECTION 420 P.L. 1242, NO. 428 KNOWN AS THE 'STATE HIGHWAY LAW', BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED OR CONSTRUCTED.

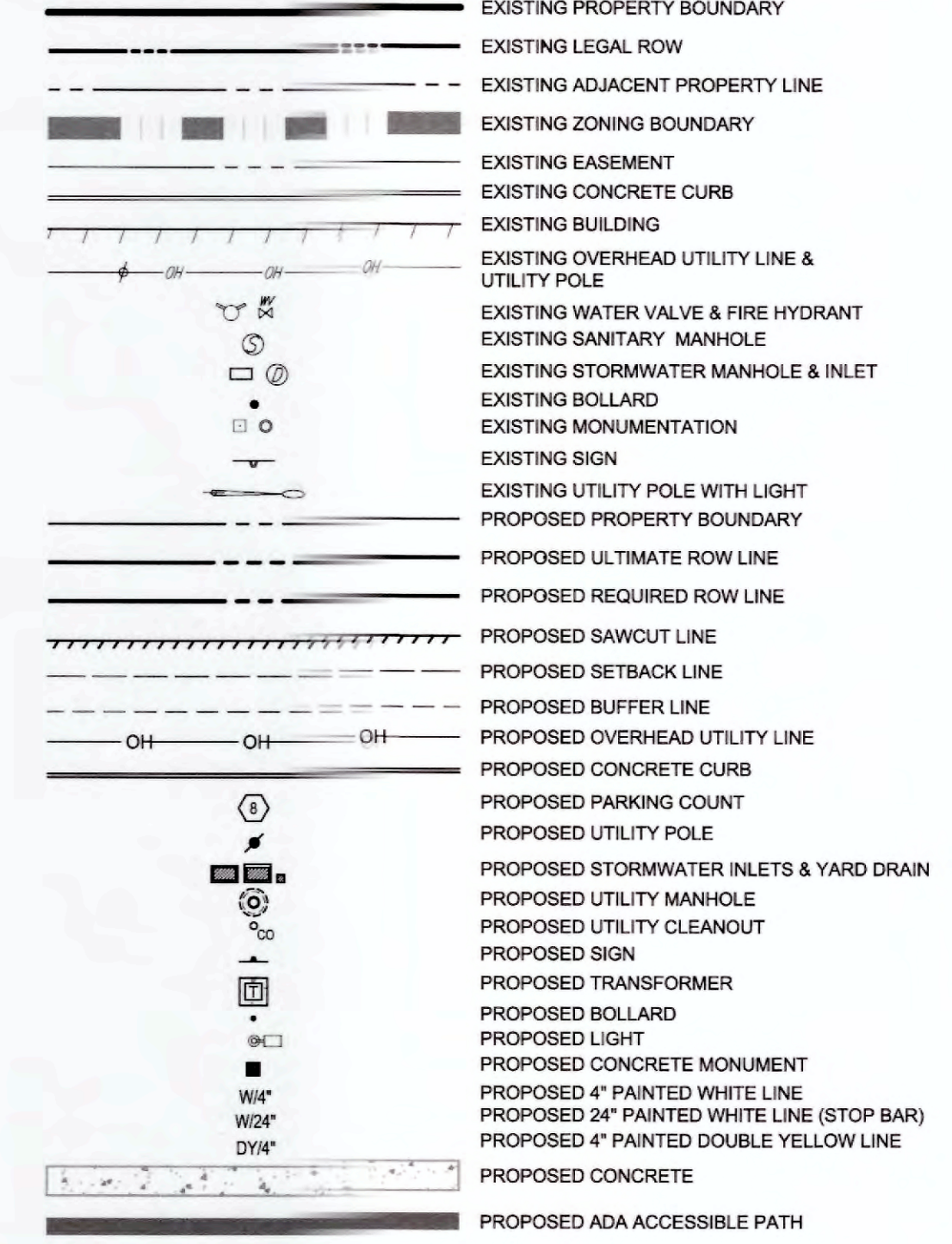
IT IS THE INTENT OF THIS PLAN THAT THE THREE TAX PARCELS THAT ARE THE SUBJECT OF THIS LAND DEVELOPMENT WILL BE CONSOLIDATED FOR A COHESIVE DEVELOPMENT AND THE RESULTANT PROPERTY WILL BE RE-SUBDIVIDED INTO TWO TAX PARCELS. THE BULK ZONING CRITERIA SHALL BE VIEWED AGAINST THE OVERALL CONSOLIDATED DEVELOPMENT FOR COMPLIANCE, BUT WHEN CONSIDERED ON THE BASIS OF THE INDIVIDUAL NEWLY CREATED TAX PARCELS, SAID NEW TAX PARCELS WILL NOT BE REQUIRED TO INDIVIDUALLY COMPLY WITH THE DIMENSIONAL ASPECTS OF THE BULK ZONING CRITERIA.

PROPOSED SIGNAGE

PROPOSED REGULATORY SIGNAGE SYMBOL LEGEND

KEY	QTY.	DESCRIPTION
A	9	PROPOSED "STOP" SIGN (R1-1) (30"X30")
B	4	PROPOSED BOLLARD MOUNTED "RESERVED PARKING" SIGN (R7-8) (12"X18") & "RESERVED PARKING PENALTIES" SIGN (R7-8F) (12"X18")
C	4	PROPOSED BOLLARD MOUNTED "RESERVED PARKING" SIGN (R7-8) (12"X18"), "RESERVED PARKING PENALTIES" SIGN (R7-8F) (12"X18") & "VAN ACCESSIBLE" SIGN (R7-8P) (12"X8")
D	2	PROPOSED PEDESTRIAN CROSSING SIGN (W11-2) (30"X30") & PROPOSED DIAGONAL DOWNWARD POINTING ARROW (W16-7P) (24"X12")
E	1	PROPOSED "NO LEFT TURN" SIGN - R3-2 (24" X 24")
F	7	PROPOSED SIGNS DESIGNATING ELECTRIC OR HYBRID CAR PARKING ONLY
G	2	40 SF (MAX.) FREESTANDING SIGN (TO BE PERMITTED BY OTHERS)
H	1	RELOCATED "DO NOT PASS" SIGN (SEE HOP PLANS)
I	1	PROPOSED LANE USE CONTROL (THREE LANES) (R3-8B) (SEE HOP PLANS)
J	1	RELOCATED CROSS ROAD (W2-1) AND SINGLE-LINE ADVANCE STREET NAME PLAQUE (W16-8P) (SEE HOP PLANS)
K	1	RELOCATED "RIGHT REVERSE" AND ADVISORY SPEED PLAQUE SIGN (SEE HOP PLANS)
L	1	PROPOSED "LEFT LANE MUST TURN LEFT" SIGN (R3-7) (SEE HOP PLANS)
M	2	PROPOSED "INCOMING TRAFFIC DOES NOT STOP" SIGN (SEE HOP PLANS)
N	1	PROPOSED "NO TRUCK" SIGN (R5-2) (SEE HOP PLANS)
O	1	RELOCATED "SPEED LIMIT" AND "NO PARKING SYMBOL" SIGNS (SEE HOP PLANS)

LEGEND



BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	07/25/2019	GENERAL REVISIONS	J.C.F.	J.C.F.
2	09/04/2019	GENERAL REVISIONS	J.C.F.	J.C.F.
3	10/21/2019	GENERAL REVISIONS	J.C.F.	J.C.F.
4	11/04/2019	MCCD COMMENTS	J.C.F.	J.C.F.
5	11/21/2019	GENERAL REVISIONS	J.C.F.	J.C.F.
6	12/18/2019	PER TOWNSHIP COMMENTS	J.C.F.	J.C.F.
7	01/22/2020	GENERAL REVISIONS	J.C.F.	J.C.F.

811
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PROJECT NO.: PC171181
DRAWN BY: J.C.F.
CHECKED BY: J.C.F.
DATE: 05/17/2019
SCALE: 1"=30'
CAD ID: PC171181BASE-T

PROJECT:
PRELIMINARY/FINAL MAJOR SUBDIVISION AND LAND DEVELOPMENT PLANS
FOR
ABINGTON TERRACE, LLC
CHOP ABINGTON
1059, 1067 & 1073 OLD YORK ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
19001

BOHLER ENGINEERING
1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com

C.J. BOCK
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE037816
NEW JERSEY LICENSE NO. 240E09193800
FLORIDA LICENSE NO. 63062

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-301
5 OF 29
REVISION 7 - 2020.01.22