

**TOWNSHIP OF ABINGTON**

**(2) CODE ENFORCEMENT AND LAND DEVELOPMENT COMMITTEE**

**April 5, 2017  
7:00 P.M.**

**CALL TO ORDER**

**ROLL CALL:           SANCHEZ – MARKMAN – DiPLACIDO – ZAPPONE  
                                  GILLESPIE**

**Township Manager LEFEVRE  
Assistant Township Manager WEHMEYER  
Township Solicitor CLARKE  
Director of Code Enforcement MATTEO  
Township Engineer POWERS**

**MINUTES:**

**Motion to approve the minutes of the March 1, 2017 Code Enforcement and Land Development Committee Meeting**

**CE1. Subdivision and Land Development LD-16-06 – Steven Kozlowski – 1235 Meinel Road**

**Motion to approve the Subdivision and Land Development application of Steven Kozlowski, applicant for the property located at 1235 Meinel Road, Abington Township. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain on-site rain gardens as well as a public storm water management system that is plotted to be located below the proposed new roadway. The properties area zoned in the (R-2) Residential District in Ward No. 2 of the Township of Abington.**

**This motion is subject to the following conditions:**

- 1. Sanitary sewer service is available for this development. An Act 537 Exemption Application has been submitted and recommended for approval by the Planning Commission. The applicant is required to submit a DEP approval letter prior to the recording of the final plan.**

2. The items listed within the Staff Review letter dated January 10, 2017 are to be a condition of the approval of this application.
3. The applicant is required to submit a minimum of four paper copies, four Mylar copies and one PDF Formatted Disk of the final plan at the time the plans are submitted for Township signatures.
4. The Township is required to provide the owners of the proposed new single-family dwellings with a copy of the best management practice maintenance requirements for the care of the private rain gardens.

This motion is subject to the following waivers:

1. Waiver from Section 146-11.A – Property Identification Plan – The plan is required to supply the tax parcel information, owner’s name and lot area for all properties within 400 feet of the site involved in this application.
2. Waiver from Section 146-11.B – Existing Features Plan – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application.
3. Waiver from Section 146-11.C – Proposed Layout Plan – The plan is required to plot the location of all existing utilities, to include the size, type and depth of all existing improvements proposed to remain and be removed.
4. Waiver from Section 146-11.G – Utility Plan – The application has been submitted; however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name.
5. Waiver from Section 146-11.H – Landscape Plan – The applicant is required to submit a plan that clearly identifies the size, type and location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.

*With the condition that the applicant submit a plan for the required street trees that include the type, size and location of the required trees to the Township for review and approval.*

6. Waiver from Section 146-11.1 – Phasing Plan – A phasing plan is required to be submitted that details the proposed timeline for construction.
7. Waiver from Section 146-11.L – Architectural Plan – The applicant has submitted a rendering of the exterior finishes of the proposed alterations. Architectural plans have not been submitted.
8. Waiver from Section 146-27 – Sidewalks – The applicant requires a waiver as no sidewalks are proposed within the new cul-de-sac.

*The vote was 7 in favor of the waiver for the installation of sidewalks and 1 to deny the waiver.*

9. Waiver from Section 146-39 – Street Trees – The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plan the street trees within the front yard setback area.

10. Waiver from Section 146-9.B – Plan Categories – This Section of the Ordinance required a two stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.

**CE2. Draft Ordinance No. 2131 – Medical Marijuana Dispensary and Medical Marijuana Grow Facility**

**For Information Only** – The Board of Commissioners will consider the adoption of Draft Ordinance No. 2131, an amendment to the Zoning Ordinance of the Township of Abington. Ordinance No. 2131 creates use definitions for both a medical marijuana dispensary and medical marijuana grow facility. In addition, on-site parking regulations and separation requirements have been included in the Ordinance. Ordinance No. 2131 was drafted to bring Abington Township into compliance with the requirements of Act 16 of 2016 of the Commonwealth of Pennsylvania. A public hearing has been scheduled for Thursday, April 13, 2017 at 7:30 PM in the Board room.

# Code Enforcement & Land Development BOARD ACTION REQUEST

April 5, 2017

CE-1

Agenda Item

CODE ENFORCEMENT

TOWNSHIP MANAGER



**AGENDA ITEM**  
**Subdivision and Land Development LD-16-06**  
**Steven Kozlowski**  
**1235 Meinel Road**

PREVIOUS ACTION:

- Abington Township Planning Commission approved this application with conditions and requested waivers on March 28, 2017.
- Montgomery County Planning Commission approved this application on December 29, 2016.

RECOMMENDED BOARD ACTION:

- Motion to approve the Subdivision and Land Development application of **Steven Kozlowski**, applicant for the property located at 1235 Meinel Road, Abington Township. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain on-site rain gardens as well as a public storm water management system that is plotted to be located below the proposed new roadway. The properties area zoned in the (R-2) Residential District in Ward No. 2 of the Township of Abington.
- This motion is subject to the following conditions:
  1. Sanitary sewer service is available for this development. An Act 537 Exemption Application has been submitted and recommended for approval by the Planning Commission. The applicant is required to submit a DEP approval letter prior to the recording of the final plan.
  2. The items listed within the Staff Review letter dated January 10, 2017 are to be a condition of the approval of this application.

3. The applicant is required to submit a minimum of four paper copies, four Mylar copies and one PDF Formatted Disk of the final plan at the time the plans are submitted for Township signatures.
  4. The Township is required to provide the owners of the proposed new single-family dwellings with a copy of the best management practice maintenance requirements for the care of the private rain gardens.
- This motion is subject to the following waivers:
    1. **Waiver from Section 146-11.A – Property Identification Plan** – The plan is required to supply the tax parcel information, owner’s name and lot area for all properties within 400 feet of the site involved in this application
    2. **Waiver from Section 146-11.B – Existing Features Plan** – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application.
    3. **Waiver from Section 146-11.C – Proposed Layout Plan** – The plan is required to plot the location of all existing utilities, to include the size, type and depth of all existing improvements proposed to remain and be removed.
    4. **Waiver from Section 146-11.G – Utility Plan** – The application has been submitted however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name.
    5. **Waiver from Section 146-11.H – Landscape Plan** – The applicant is required to submit a plan that clearly identifies the size, type and location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.
      - *With the condition that the applicant submit a plan for the required street trees that include the type, size and location of the required trees to the Township for review and approval.*
    6. **Waiver from Section 146-11.I – Phasing Plan** – A phasing plan is required to be submitted that details the proposed timeline for construction.
    7. **Waiver from Section 146-11.L – Architectural Plan** – The applicant has submitted a rendering of the exterior finishes of the proposed alterations. Architectural plans have not been submitted.
    8. **Waiver from Section 146-27 – Sidewalks** – The applicant requires a waiver as no sidewalks are proposed within the new Cul-de-sac.
      - *The vote was 7 in favor of the waiver for the installation of sidewalks and 1 to deny the waiver.*
    9. **Waiver from Section 146-39 – Street Trees** – The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plant the street trees within the front yard setback area.
    10. **Waiver from Section 146-9.B – Plan Categories** - This Section of the Ordinance required a two stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.
-



Wayne C. Luker, President  
Steven N. Kline, Vice President  
Michael LeFevre, Manager  
Jay W. Blumenthal, Treasurer

1176 Old York Road Abington PA 19001-3713 Telephone: 267-536-1000

Mr. Steven Kozlowski  
872 Jenkintown Road  
Elkins Park, Pa. 19027

January 10, 2017

**Re: Staff Review Comments for the Land Development Application filed for the property located at 1235 Meinel Road, Huntingdon Valley Pa. known as LD-16-06.**

Dear Mr. Kozlowski,

The Township of Abington received the land development application and plans filed for the property located at 1235 Meinel Road, Huntingdon Valley, Pa. 19006. This plan has been submitted as a preliminary as a final major subdivision application. However, due to the proposed public improvements and the number of lots involved in this application, it has been reviewed as a Land Development Plan. This applicant will require both preliminary and final plan review. The items listed within the staff review comments must be addressed to the satisfaction of the Board of Commissioners of the Township of Abington. In the event this application is approved, several of the conditions listed are building permit related and will be addressed at the time building permits are applied for. Those comments will be clearly marked with a (BP) for your reference.

#### **Engineering Department:**

1. Sanitary sewers are available for this area and are NOT affected by the DEP/Cheltenham Township moratorium.
2. This property is not within the limits of any FEMA Flood Zone Area.
3. Upon approval of this plan, the applicant shall provide the township with six (6) new executed (signed, notarized and recorded) deeds; one for each property and one additional deed for the dedication of the right-of-way to the Township. This is a requirement of the subdivision process. The Township Engineer will not sign the final plan unless this is completed.
4. The subdivision plan "Sheet #1 of 16" indicates iron pins at the proposed property corners. The plan need to be revised, as the applicant is required to install concrete monuments. Concrete monuments are required at any and all bearing changes and lot line intersections. According to my count, I calculate (21) concrete monuments will be needed. This is a requirement of the application process and any waiver request from the requirements of Section 146-32 will not be supported by Staff.



5. A construction permit from the Engineering Office is required for the extension of the sanitary sewer main, the storm water management system, the construction of the roadway, to include curb, gutter, sidewalk and paving. This includes any work proposed to be completed within the right-of-way of Meinel Road. The permits are based on the amount of work proposed and the projected number of inspections.
6. The applicant is required to submit projected construction costs for all public improvements and any item proposed to be offered for dedication to the Township of Abington.
7. All sanitary pipe that is placed within the Township R.O.W. and/or street areas shall be Class 52 Ductile Iron Pipe. Plastic/PVC is not acceptable within the R.O.W. area.
8. The right-of-way of the proposed intersection at Meinel Road will need to have a 20 foot radius.
9. Attached is a review of the storm water management system that was completed by BCM Engineers on behalf of the Engineering Office of the Township of Abington. In addition to the attached BCM Engineer letter {see Attached} this Department has the following comments.
  - a. Why are there 12 rain gardens? Rain gardens are an acceptable means of on-site storm water management control, but to have more than one per property we feel is excessive.
  - b. As per the Abington Township Storm Water Management Ordinance, the permit fee is applied per system and this increase to fee for each application. Each system requires a separate permit, with a fee of \$110.00 each. In addition to the permit fee there is a \$250.00 escrow fee required for the year inspection of the system over the first ten years. This design will double the permit and inspection fees.
  - c. Please be aware that the property owner will ultimately be responsible for the maintenance of the rain gardens on their property.
  - d. This Department recommends that the applicant's engineer visit our website {[www.abington.org](http://www.abington.org)}, if they have not already, for more information regarding out MS4/Residential Storm Water Management procedures, permits and ordinance.
10. Any storm water apparatus that is to be dedicated to the Township of Abington will need to have an easement dedicated for that purpose show on the plans and written into the property deed. If the pipes and inlets are not going to be dedicated, it should be noted on the plan.
11. A note must be added to the plans that states that property owner is responsible for the maintenance of the rain gardens located on their property.

12. Abington Township has a standard for sanitary manholes. Please contact Scott Marlin of the Engineering Office directly at 267-536-1044 or [smarlin@abington.org](mailto:smarlin@abington.org) to obtain a copy of the detail and list of manufacturers.
13. The Engineering Department is responsible to assign addresses to the individual lots.
14. We KINDLY REQUEST that ALL signature blocks be placed near the bottom of the sheet. We notice that the TOWNSHIP signature block is near the bottom, but with the other blocks being on the top-right of the plan, the County (or others) may not see ours at the bottom. We appreciate your cooperation.

**Waste Water Treatment Department:**

15. The required applications have been submitted for the additional EDU's this development requires.
16. The existing sanitary sewer line is not located within the existing easement. The easement is required to be adjusted so that the sanitary sewer line is within the easement.
17. A meeting with the applicant was held for the purpose of discussing revisions to the location of the sanitary sewer extension and location of laterals to serve the proposed new dwellings.

**Fire Marshal's Office:**

18. This office does not believe that an additional fire hydrant is required to be installed at the end of the bulb, as there is an existing fire hydrant in front of 1260 Meinel Road.

**Planning & Zoning Office:**

- 19 This application was submitted as preliminary as final subdivision & land development application. Due to the public improvements proposed with this application, Section 146-9.B of the Subdivision & Land Development Ordinance requires this application approved in two stages. A waiver from Section 146-9.B will be required if this application is approved as a preliminary as final.
- 20 This project is listed as being served by public water. The applicant must submit a letter of public water availability from Aqua prior to this application being placed on the agenda



of the Planning Commission, Code Enforcement Committee or the Board of Commissioners of the Township of Abington.

- 21 Please provide a letter from PECO stating that electric service is available. If these homes are to be fitted with gas, PECO should also provide a letter stating that gas service and levels are available for the proposed new homes.
- 22 These properties are zoned within the R-2 Residential District of Ward #2 of the Township of Abington. Lot #1 and Lot #6 are considered corner properties. As such, one front yard on each of these sites may be reduced to 30 feet in depth. They are current plotted at 40 feet.
- 23 The applicant is required to install sidewalk on both side of the proposed new street. If sidewalk is not proposed, a waiver from Section 146-27 of the Subdivision & Land Development Ordinance will be required.
- 24 Due to the size of the site and the total disturbed area, a permit is required to be obtained from Montgomery County Conservation District. Soil erosion controls must be in place prior to the start of any work on the property. The soil erosion controls are required to be maintained throughout the project. A soil erosion control escrow may be required.
- 25 Sheet #2 plots the size and location of the existing trees on the site. Sheet #2 should be amended or another sheet added that identifies which trees are proposed to be removed and any proposed new plantings, such as the required street trees.
- 26 Please be aware that street lighting is required to be installed for the new roadway. The plans should be amended to include these improvements or a waiver will be required from the Board of Commissioners. The applicant will need to provide a detail on the proposed street lighting to be installed.
- 27 The layout plan is required to be amended to include the limits of the existing steep slopes on the site. Any disturbance of the existing steep slope is required to be clearly show and a note added to the plan to states the total square footage disturbed. Please look at Lot #1 and Lot #2.
- 28 The applicant may want to consider relocating the proposed rain gardens from the rear yards into the front yards of Lot #3, Lot #4 and Lot #5. This would allow greater use of the rear yards. The rain garden within the front yard of Lot #3 appears to extend over

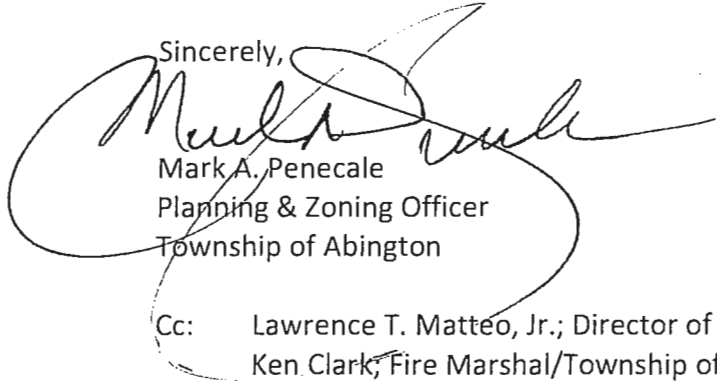
the property line and onto Lot #4. If this is case, an easement will be required to be added that meets the satisfaction of the Township of Abington.

- 29 What is the purpose of the two retaining walls on Lot #3?
- 30 In the event that this application is approved, separate permits are required for all construction, electrical, plumbing, mechanical, street opening, street improvements, sidewalk installation and sanitary sewer. All work must comply with the codes of the Township of Abington. {BP}
- 31 All contractors are required to be registered with the Attorney General's Office of the State of Pennsylvania. {BP}
- 32 All plumbing work within the Township of Abington is required to be applied for and completed by a Master Plumber, who is registered with the Township of Abington. All work must with the Plumbing Code of the Township of Abington. {BP}
- 33 The applicant may want to consider submitting a rendering of the proposed dwellings, since architectural plans have not been submitted.
- 34 The applicant is required to submit projected costs of all public improvements and the projected cost of all public and private storm water management systems for review. Projections are also required to be submitted for the installation of the soil erosion controls, the maintenance of the soil erosion controls, the tree protection measures and all landscaping required to be installed. These projections will be used to determine the escrow taken by the Township of Abington to ensure completion of the job.
- 35 The plan is required to be revised to plot the location of all new easements that are required for the extension and alterations to the sanitary sewer system and the storm water management systems
- 36 This application is required to obtain the following waivers from the Subdivision & Land Development Ordinance of the Township of Abington.
  - A. **Section 146-11.A – Property Identification Plan:** The applicant is required to provide the owner's names, tax parcel number and size of all properties within 400 feet of the site.

- B. **Section 146.11.B – Existing Features Plan:** The applicant is required to provide the size, type, depth and location of all utilities within 400 of the site. In addition, all easements and right-of-ways must be identified.
- C. **Section 146-11.C – Proposed Layout Plan:** The plan is required to plot the location of all existing utilities, to include the size, type and depth of all existing improvements proposed to remain and be removed.
- D. **Section 146-11.G – Utility Plan:** A utility plan has been submitted however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name.
- E. **Section 146-11.H – Landscape Plan:** The applicant is required to submit a plan that clearly identifies the size, type & location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.
- F. **Section 146-11-I – Phasing Plan:** A phasing plan is required to be submitted that details the proposed timeline for construction.
- G. **Section 146-11.L – Architectural Plan:** The applicant has submitted a rendering of the exterior finishes of the proposed alterations. Architectural plans have not been submitted.
- H. **Section 146-27 – Sidewalks:** The applicant requires a waiver as no sidewalks are proposed within the new Cul-de-Sac.
- I. **Section 146-39 – Street Trees:** The applicant is required to plant one street tree five feet inside the front property line every 50 feet.
- J. **Section 146-9.B – Plan Categories:** This Section of the Ordinance requires a two stage approval process.

If there are any questions that you have, please feel free to contact the reviewing department directly. Please make sure that any correspondences have the Planning & Zoning Office copied. All revised plans are required to be received at least 14 days prior to the scheduled meetings of the Planning Commission, Code Enforcement Committee and the Board of Commissioners of the Township of Abington. I can be reached at 267-536-1017 or by email @mpenecale@abington.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark A. Penecale', written in a cursive style. The signature is positioned above the typed name and title.

Mark A. Penecale  
Planning & Zoning Officer  
Township of Abington

Cc: Lawrence T. Matteo, Jr.; Director of Planning & Code Enforcement  
Ken Clark; Fire Marshal/Township of Abington  
Scott Marlin; Engineering Assistant/ Township of Abington  
George Wrigley; Director of the Waste Water Treatment Facility  
File Copy (2)

# Township of Abington Planning Commission Recommendation Form

Application Number: LD-16-06

Date: March 28, 2017

Applicant's Name: Steven Kozlowski

Applicant's Address: 1235 Meinel Road, Huntingdon Valley, Pa. 19006

Recommendation:  APPROVED     DENIED    VOTE: 8 of 8

## Over View:

**PC1:** This is the application of **Steven Kozlowski**, applicant for the property located at 1235 Meinel Road, Huntingdon Valley, Pa. 19006. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single family dwelling will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain on-site rain gardens as well as a public storm water management system that is plotted to be located below the proposed new roadway. The properties are zoned within the R-2 Residential District of Ward #2 of the Township of Abington.

## Conditions:

1. Sanitary sewer service is available for this development. An Act 537 Exemption Application has been submitted and recommended for approval by the Planning Commission. The applicant is required to submit a DEP approval letter prior to the recording of the final plan.
2. The items listed within the Staff Review letter dated January 10, 2017 are to be a condition of the approval of this application.
3. The applicant is required to submit a minimum of four paper copies, four mylar copies and one PDF Formatted disk of the final plan at the time the plans are submitted for Township signatures.

4. The Township is required to provide the owners of the proposed new single family dwellings with a copy of the best management practice maintenance requirements for the care of the private rain gardens.

The following waivers have been requested.

- A. **Section 146-11.A - Property Identification Plan** – The plan is required to supply the tax parcel information, owner's name & lot area for all properties within 400 feet of the site involved in this application. Staff supports this waiver. Yes {X} No { }
- B **Section 146-11.B – Existing Features Plan** – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application. Staff supports this request. Yes {X} No { }
- C. **Section 146-11.C – Proposed Layout Plan** – The plan is required to plot the location of all existing utilities, to include the size, type and depth of all existing improvements proposed to remain and be removed. Staff supports this request. Yes {X} No { }
- D. **Section 146-11.G – Utility Plan:** A utility plan has been submitted however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name. Yes {X} No { }
- E. **Section 146-11.H – Landscape Plan:** The applicant is required to submit a plan that clearly identifies the size, type & location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site. Yes {X} No { }
- With the condition that the applicant submit a plan for the required street trees that include the type, size and location of the required trees to the Township for review and approval.
- F. **Section 146-11.I – Phasing Plan:** A phasing plan is required to be submitted that details the proposed timeline for construction. Yes {X} No { }
- G. **Section 146-11.L – Architectural Plan:** The applicant has submitted a rendering of the exterior finishes of the proposed

alterations. Architectural plans have not been submitted. Yes {X}  
No { }

**H. Section 146-27 – Sidewalks:** The applicant requires a waiver as no sidewalks are proposed within the new Cul-de-Sac.

Yes {X} No { }

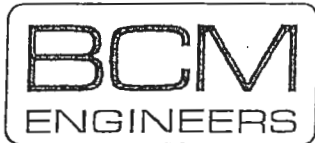
- The vote was 7 in favor of the waiver for the installation of sidewalk and 1 to deny the waiver.

**I. Section 146-39 – Street Trees:** The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plant the street trees within the front yard setback area. Yes {X} No { }

**J. Section 146-9.B – Plan Categories:** This Section of the Ordinance requires a two stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.

Yes {X} No { }

MAPenecale  
3/28/2017



ATC GROUP SERVICES LLC

920 Germantown Pike, Suite 200  
Plymouth Meeting, PA 19462  
Telephone 610-313-3100  
Fax 610-313-3151  
www.atcgroupservices.com

November 30, 2016

Mr. Michael E. Powers, P.E.  
Township Engineer  
Abington Township  
1176 Old York Road  
Abington, PA 19001

Subject: Meinel Road Subdivision

Reference: Stormwater Facilities Review  
BCM Engineers Project No. 57.50002.9700

Dear Mr. Powers:

We are in receipt of the following documents prepared by Cornerstone Consulting Engineers & Architectural, Inc.

DRAWING NO.	PLAN TITLE	PLAN DATE	DATE	REVISION
			LAST REVISED	NO.
Sheet 1	Subdivision Plan	11-1-16		
Sheet 2	Existing Features Plan	11-1-16		
Sheet 3	Utility Plan	11-1-16		
Sheet 4	Grading Plan	11-1-16		
Sheet 5	Drainage Plan	11-1-16		
Sheet 6	Cul-De-Sac Plan & Profile	11-1-16		
Sheet 7	Erosion and Sedimentation Control Plan	11-1-16		
Sheet 8	Erosion and Sedimentation Control Plan	11-1-16		
Sheet 9	Erosion and Sedimentation Control Plan	11-1-16		
Sheet 10	Drainage Profiles	11-1-16		
Sheet 11	Sanitary Profile	11-1-16		
Sheet 12	Site Details	11-1-16		
Sheet 13	Site Details	11-1-16		
Sheet 14	Site Details	11-1-16		
Sheet 15	Utility Details	11-1-16		
Sheet 16	Storm Basin Details	11-1-16		






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**DRAINAGE AREA PLANS**

Sheet 1 of 2	Pre-Development Drainage Area Plan	11-1-16
Sheet 2 of 2	Post-Development Drainage Area Plan	11-1-16

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Based upon our review, we have the following comments:

1. This proposed development is located within the Pennypack Watershed, and is currently governed under Ordinance 2001, Stormwater Management Ordinance, which was adopted on January 14, 2016.
2. The project is located within the Pennypack Watershed and is located in District B.
3. The applicant has designed and proposed twelve (12) rain garden BMPs to control storm water runoff from the site and one underground detention basin to control peak rate discharge from the site.
4. Comments on the use of the rain gardens follow:

Rain Garden Number	Outlet Grate Elevation	Rain Garden Overflow Elevation	Notes
#1	230.50	230.25	<ul style="list-style-type: none"> <li>➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations.</li> <li>➤ The overflow from this basin will run right off the site onto Meinel Road.</li> <li>➤ The water level in the rain garden at the Overflow Elevation will actually touch the Lot 1 proposed structure on the northwest side.</li> </ul>
#2	232.50	232.10	<ul style="list-style-type: none"> <li>➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations.</li> <li>➤ This basin is constructed in both Lot #1 and Lot#2. The overflow from Rain Garden #2 flows directly into Lot#1 and flows toward Rain Garden #1.</li> </ul>



Rain Garden Number	Outlet Grate Elevation	Rain Garden Overflow Elevation	Notes
#3	231.50	231.15	➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations.
#4	225.50	225.25 (est.)	➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations. ➤ The overflow from Rain Garden #4 flows from Lot#2 into Lot#3
#5	223.50	224.25	➤ The water level in the rain garden may touch the Lot #3 proposed structure on the northeast side.
#6	229.50	230.15	➤ This basin is constructed in both Lot #3 and Lot#4.
#7	231.50	232.15	➤ No comments
#8	233.50	233.15	➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations.
#9	230.50	231.00 (est.)	➤ No comments
#10	233.50	234.00 (est.)	➤ The water level in the rain garden may touch the Lot #5 proposed structure on the southwest side.
#11	232.50	233.00 (est.)	➤ No comments
#12	233.50	233.15	➤ The outlet grate elevation is above the garden's overflow level. Therefore this basin will not provide the storage used in the Pond Report calculations.



5. There is no design details of the rain gardens, specifically the soil requirements, planting schedule, etc. These details should be added.
6. Who will own the rain garden and detention basin BMPs? Some rain gardens are located on multiple properties. Who is responsible for the upkeep and maintenance of the stormwater BMPs? A post construction operation and maintenance plan needs to be developed and recorded in accordance with Article VII of Ordinance 2001 of 2016.
7. The soil is listed as UugB. There is a concern about poor percolation in this type of soil. Will the rain gardens perform the anticipated infiltration required? Will external soil be brought onto the site? Please address these concerns.
8. The proposed homes are shown to have basements. Due to poor infiltration of these soils, will the structures have an underdrain system to prevent water from flowing into the basements? If so, where will these underdrains discharge?
9. Where do the roof drains/downspouts discharge? Was this impervious area taken into consideration?
10. The proposed rain gardens may satisfy Sections 405 and 406 of the ordinance, but the appropriate calculations need to be submitted based upon changes required in the comments above.
11. The proposed detention basin may satisfy Sections 409 of the ordinance, but the appropriate calculations need to be submitted based upon changes required in comments above.
12. The developer shall post escrow fees to cover engineering review, and future inspections. (Yearly inspections and construction inspection).

This review encompasses only the conceptual engineering aspects for the stormwater facilities shown in the plans. Neither the Township of Abington nor BCM Engineers can accept liability for the technical design aspects, as this is the sole responsibility of the developer's engineer. The developer is responsible for the complete operational capability of the system. Also, the developer will be required to furnish the Township, two sets of blue-line "as-built" plans for review. Upon approval of the "as-built" plans, the developer will be required to submit to the Township one (1) set of reproducible "as-built" plans of the stormwater facilities installed by him.



Michael Powers, P.E.  
Township of Abington  
November 30, 2016  
Page 5

A preconstruction meeting with Township personnel and/or its representative(s) is mandatory before the start of any construction. This meeting must be held at least 7 days prior to start of construction. Any changes made to the stormwater facilities after the date of the approved plans must be resubmitted for review. The developer will be financially responsible for construction inspection of the facilities. Inspection is to be performed by the Township and/or its representative and reimbursed by the developer.

Should you have any questions concerning this review, please feel free to contact us.

Sincerely,

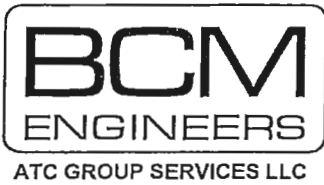
A handwritten signature in cursive script that reads 'Michael R. Filmyer'.

Michael R. Filmyer, P.E.  
Manager, Municipal Services

MRF:sws

cc: Scott Marlin, Abington Township  
S:\Engineering\Projects\Abington\Meinl Road Review 11-30-16.doc

OK - SM



920 Germantown Pike, Suite 200  
Plymouth Meeting, PA 19462  
Telephone 610-313-3100  
Fax 610-313-3151  
www.atcgroupservices.com

February 23, 2017

Mr. Michael E. Powers, P.E.  
Township Engineer  
Abington Township  
1176 Old York Road  
Abington, PA 19001

Subject: Meinel Road Subdivision

Reference: Stormwater Facilities Review  
BCM Engineers Project No. 57.50002.9700

Dear Mr. Powers:

We are in receipt of the following documents prepared by Cornerstone Consulting Engineers & Architectural, Inc.

DRAWING NO.	PLAN TITLE	PLAN DATE	DATE LAST REVISED	REVISION NO.
Sheet 5	Drainage Plan	11-1-16	2-8-17	2
Sheet 7	Erosion and Sedimentation Control Plan	11-1-16	2-8-17	2
<b>DRAINAGE AREA PLANS</b>				
Sheet 1 of 2	Pre-Development Drainage Area Plan	11-1-16	2-8-17	2
Sheet 2 of 2	Post-Development Drainage Area Plan	11-1-16	2-8-17	2

Based upon our review, we have the following comments:

1. This proposed development is located within the Pennypack Watershed, and is currently governed under Ordinance 2001, Stormwater Management Ordinance, which was adopted on January 14, 2016.
2. The project is located within the Pennypack Watershed and is located in District B.
3. The applicant has designed and proposed ten (10) rain garden BMPs to control storm water runoff from the site and one underground detention basin to control peak rate discharge from the site.
4. Comments on the use of the rain gardens follow:



Michael Powers, P.E.  
 Township of Abington  
 February 23, 2017  
 Page 2

Rain Garden Number	Outlet Gate Elevation	Rain Garden Overflow Elevation	Notes
#1	230.33	230.00	<ul style="list-style-type: none"> <li>➤ The outlet grate elevation is above the garden's overflow level.</li> <li>➤ The overflow from this basin will run right off the site onto Meinel Road. A higher berm to keep the water within the garden and direct it to the underground basin should be designed.</li> </ul>
#2	230.50	231.00	<ul style="list-style-type: none"> <li>➤ The overflow from Rain Garden #2 may flow directly onto Lot#1 and flows toward Rain Garden #1.</li> </ul>
#3	225.50	225.00	<ul style="list-style-type: none"> <li>➤ The outlet grate elevation is above the garden's overflow level.</li> </ul>
#4	222.50	223.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#5	229.50	230.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#6	231.50	232.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#7	232.50	233.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#8	232.50	233.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#9	230.50	231.00	<ul style="list-style-type: none"> <li>➤ No comments</li> </ul>
#10	233.33	233.00	<ul style="list-style-type: none"> <li>➤ The outlet grate elevation is above the garden's overflow level.</li> <li>➤ The overflow from this basin will run right off the site onto Meinel Road. A higher berm to keep the water within the garden and direct it to the underground basin should be designed.</li> </ul>

5. There is no design details of the rain gardens, specifically the soil requirements, planting schedule, etc. These details should be added.
6. Who will own the rain garden and detention basin BMPs? Who is responsible for the upkeep and maintenance of the stormwater BMPs? A post construction operation and maintenance plan needs to be developed and recorded with the deed of each property in accordance with Article VII of Ordinance 2001 of 2016.



Michael Powers, P.E.  
Township of Abington  
February 23, 2017  
Page 3

7. The soil is listed as UugB. There is a concern about poor percolation in this type of soil. Will the rain gardens perform the anticipated infiltration required? Will external soil be brought onto the site? Please address these concerns.
8. The proposed homes are shown to have basements. Due to poor infiltration of these soils, will the structures have an underdrain system to prevent water from flowing into the basements? If so, where will these underdrains discharge?
9. Where do the roof drains/downspouts discharge? Was this impervious area taken into consideration?
10. The proposed rain gardens satisfy Sections 405 and 406 of the ordinance.
11. The proposed detention basin satisfy Sections 409 of the ordinance.
12. The developer shall post escrow fees to cover engineering review, and future inspections. (Yearly inspections and construction inspection).

This review encompasses only the conceptual engineering aspects for the stormwater facilities shown in the plans. Neither the Township of Abington nor BCM Engineers can accept liability for the technical design aspects, as this is the sole responsibility of the developer's engineer. The developer is responsible for the complete operational capability of the system. Also, the developer will be required to furnish the Township, two sets of blue-line "as-built" plans for review. Upon approval of the "as-built" plans, the developer will be required to submit to the Township one (1) set of reproducible "as-built" plans of the stormwater facilities installed by him.

A preconstruction meeting with Township personnel and/or its representative(s) is mandatory before the start of any construction. This meeting must be held at least 7 days prior to start of construction. Any changes made to the stormwater facilities after the date of the approved plans must be resubmitted for review. The developer will be financially responsible for construction inspection of the facilities. Inspection is to be performed by the Township and/or its representative and reimbursed by the developer.

Should you have any questions concerning this review, please feel free to contact us.

Sincerely,

Michael R. Filmyer, P.E.  
Senior Project Manager

MRF:sws

cc: Scott Marlin, Abington Township  
S:\Engineering\Projects\Abington\Meinel Road Review 2-23-17.doc

MONTGOMERY COUNTY  
BOARD OF COMMISSIONERS  
VALERIE A. ARKOOSH, MD, MPH, CHAIR  
JOSH SHAPIRO, VICE CHAIR  
JOSEPH C. GALE



MONTGOMERY COUNTY  
PLANNING COMMISSION  
MONTGOMERY COUNTY COURTHOUSE • PO BOX 311  
NORRISTOWN, PA 19404-0311  
610-278-3722  
FAX: 610-278-3941 • TDD: 610-631-1211  
WWW.MONTCOPA.ORG

JODY L. HOLTON, AICP  
EXECUTIVE DIRECTOR

December 29, 2016

Mr. Mark A. Penecale, Zoning Officer  
Abington Township  
1176 Old York Road  
Abington, Pennsylvania 19001-3713

Re: MCPC #16-0240-001  
Plan Name: Meinel Road Plan  
(6 lots/6 dus comprising 3.53 acres)  
Situate: Meinel Road (east)/Hoyt Road (south)  
Abington Township

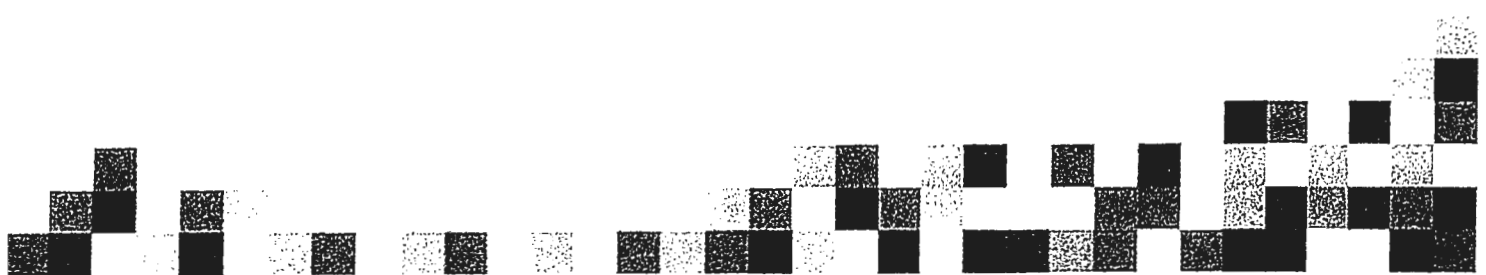
Dear Mr. Penecale:

We have reviewed the above-referenced subdivision and land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on November 18, 2016. We forward this letter as a report of our review.

## BACKGROUND

The applicant, Kozlowski Construction, has submitted a subdivision and land development plan. The proposal would subdivide one 3.53 acre lot into six lots. The proposed lots would vary in size from 15,900 square feet to 29,180 square feet. The existing property is the site of a three-story masonry building, a two-story wooden frame barn, an in-ground pool, a covered shelter, patios, a deck, and a brick well; all of which would be removed.

Public sewer will be utilized. The proposed Utility Plan shows the development being served by public water; however, the municipal request for review form indicates that water capacity is unknown. The properties lie in the R2 Low-Medium Density Residential District. The applicant has submitted a preliminary and final plan dated November 1, 2016.





## RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issue(s) that the applicant and Township may wish to consider prior to final plan approval. Our comments are as follows:

## REVIEW COMMENTS

### PEDESTRIAN SYSTEM

- A. Sidewalk [§146-27]. We recommend that the applicant construct a sidewalk on at least one side of the cul-de-sac, which would connect to existing sidewalk on Meinel Road. The applicant might or might not need to slightly adjust proposed locations of utility lines to facilitate this.
- B. Crosswalk [§146-29.D]. We recommend a crosswalk be created, bridging the gap in the Meinel Road sidewalk that would be created by the proposed cul-de-sac.

### LANDSCAPING

- C. Plan Required [§146-11.H]. The applicant is required to submit a landscaping plan [SALDO Table III: Plan Application Requirements].
- D. Street Trees. [§146-39.A]. One street tree is required for every 50 feet of frontage along Meinel Road and the proposed cul-de-sac. The applicant is required to provide the species and type on the Landscape Plan [§146-11.H].
- E. To minimize the impact of the new development on existing neighbors, we recommend the applicant add landscaping on Proposed Lot 5, near the existing swimming pool on the adjacent Ditri property.

### STEEP SLOPES

- A. It appears that the proposed home on Lot 1 extends into the Steep Slope Conservation District.
- B. Soils [§146-11.B]. The applicant shall provide information on soil types on-site. Section 602.5.C of the Steep Slope Conservation District stipulates that this is one of the factors that shall be considered by the Township in evaluating the proposed development plan.
- C. On adjacent properties. The applicant shall provide the extent of the slope on adjacent lands within 200 feet of the site. The scope of this required information may be reduced by the Township Engineer if it is not deemed to be necessary for the review of the overall proposal [§602.5.C].

### OTHER PLAN INFORMATION

- A. What is the proposed street name?
- B. Will there be street lights on the new cul-de-sac? [§146-11.G].
- C. Architectural Plans. Tentative Architectural Plans are required [§146-11.L].

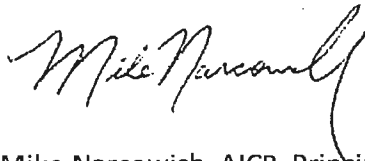
## CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve the Township's planning objectives for residential development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,



Mike Narcowich, AICP, Principal Planner II  
[mnarcowi@montcopa.org](mailto:mnarcowi@montcopa.org) - 610-278-5238

c: Steven Kozlowski, Applicant's Representative  
J.B. Anderson, P.E., Applicant's Engineer, Cornerstone Consulting Engineers & Architectural, Inc.  
Lucy Strackhouse, Chair Person, Abington Planning Commission

Attachments: Meniel Road Plan  
Aerial Photo – Meniel Road  
Aerial Image of Development Tract (upper left) and Ditri Property (with pool)



# Cornerstone Consulting

Engineers & Architectural, Inc.

213 West Main Street . Lansdale, PA. 19446  
Tel 215.362.2600 ♦ Fax 215.362.8400

1176 N. Irving Street . Allentown, PA. 18109  
Tel 610.820.8200 ♦ Fax 610.820.3706

505 Tennis Club Circle . Lakeville, PA. 18438  
Tel 570.839.1770 ♦ Fax 610.820.3706

February 8, 2017  
Via: Hand Delivery

Abington Township Municipal Office  
Department of Planning and Code Enforcement  
1176 Old York Road  
Abington, PA 19001-3713

Attn: Mark Penecale, Planning & Zoning Officer

**RE: Proposed Subdivision Application**  
6 Single Family Homes  
1235 Meinel Road  
Abington Township  
Montgomery County, PA  
CCEA# 16-0205

Dear Mark Penecale:

Enclosed please find the following information for re-submission to the Township for a Preliminary/Final Subdivision Application:

- Twelve (12) Sets of Plans
- One (1) Set of Plan, Reduced Scale
- Three (3) Copies of the Stormwater Management Report

The above referenced information is being submitted as part of a Subdivision Application to be reviewed by the Township.

Our office is in receipt of your review letter dated January 10, 2017, and Mr. Michael R. Filmyer's review letter dated November 30, 2016. The following comments are offered in response.

Township Review letter, January 10<sup>th</sup>, 2017

#### Engineering Department:

1. No response required.
2. No response required.
3. The applicant will provide the Township with the fully executed deeds for the new six (6) lots once the plan have been approved by the Commissioners.
4. The iron pins have been revised to concrete monuments and are shown at all bearing changes and lot line intersections. The two existing iron pins have been shown as 'TBR' and concrete monuments shown in their place. Twenty-one (21) total concrete monuments are specified on Sheet 1.
5. The contractor shall obtain all necessary permits prior to construction.

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6. A construction cost estimate will be forwarded to the Township by the developer.
7. The proposed sanitary sewer main has been specified as DIP and sanitary sewer Note 1 on Sheet 3 also states this requirement.
8. The radii at the intersection at Meinel Rd. have been decreased to twenty (20) feet.
9. The review letter from BCM Engineers is addressed below. Additionally, the following responses are offered concerning the stormwater management design.
  - a. The site was originally designed with underground stone infiltration beds on each lot to infiltrate the runoff from the homes and a large infiltration/detention basin was proposed within the roadway for the additional increase in impervious coverage. However, as stated within the geotechnical report within the Stormwater Report, bedrock was encountered at relatively high elevations. After the initial geotechnical investigation our office met with the Conservation District and was basically told we have to implement rain gardens to meet the water quality requirement of the NPDES permit.
  - b. No response necessary.
  - c. Note 14 on Sheet 1 has been added to specify that the property owner is responsible for the raingardens on their lot.
  - d. Please note, that the stormwater design is mainly dictated by the requirements of the NPDES permit.
10. The stormwater pipes, manholes, and inlets within the proposed lots, which are to be dedicated to the Township, are located within two proposed stormwater easements. The other stormwater features will be maintained by the property owners.
11. On Sheet 1, Note 14 has been added stating the property owner's responsibility for the maintenance of the rain gardens located on their property.
12. Our office is coordinating with the Engineering Office for the sanitary manhole detail.
13. No response required.
14. All signature blocks are at the bottom of Sheet 1.

**Waste Water Treatment Department:**

15. No response required.
16. A new easement will be proposed once the sewer main through the property is identified. The developer is working closely with Authority to locate this main and the manholes associated with it.
17. The sanitary main and laterals have been revised as discussed.

**Fire Marshal's Office:**

18. The proposed fire hydrant has been removed.

**Planning and Zoning Office:**

19. A waiver is requested to permit the application as preliminary/final.
20. The developer is coordinating the "Will Serve" letter with AQUA for water service and will forward it as soon as it is received.
21. A 'Will Serve' letter from PECO was forwarded by the developer at the meeting held to discuss these comments.

22. The front yard setback along the cul-de-sac road has been revised to thirty (30) feet. However, the homes were not shifted forward so they would align better with the other proposed homes.
23. A waiver is requested from providing a sidewalk for the development.
24. The Plan Set has been submitted to MCCD for E&S control approval.
25. The trees which will be removed for the development have been labeled as 'TBR' on Sheet 2 and a total existing tree calculation note is also added to Sheet 2. On Sheet 1, Note 15 was added stating the developer is requesting a waiver to allow the 14 required street trees to be planted throughout the yards of the proposed homes. Sheet 17, the Landscape plan, contains a calculation for the required street trees.
26. As discussed with staff a street light is proposed at the rear of the cul-de-sac.
27. The steep slopes are shown on the grading plan and the total disturbed areas are quantified within the legend.
28. The size of the rain gardens are dictated by a maximum loading ratio of 8:1 as per the NPDES. If any additional runoff is added to the front rain gardens, they would need to be enlarged. The raingarden design is detailed in the PCSM Report. The rain gardens have been revised so they are located entirely on only one lot.
29. The retaining walls on Lot 3 are required, as a portion of this lot is being filled and the grades cannot be tied out to the neighboring property without a wall.
30. The contractor shall be responsible for all necessary permits prior to construction.
31. No response required
32. No response required
33. The developer shall bring a rendering of the proposed homes to the Planning Commission and Board meetings.
34. A construction cost estimate will be forwarded from the developer for review by the Township.
35. All proposed/existing easements are shown on Sheet 1 and the setbacks have been adjusted accordingly.
36. The waivers discussed at the meeting with township staff will still be requested, which includes items A, B, C, D, F, H, I, and J of the provided list.

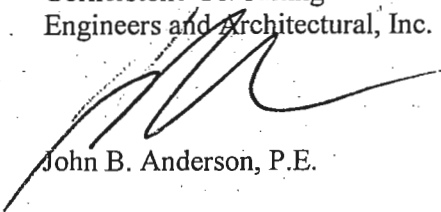
BCM Engineers November 30<sup>th</sup> Review Letter

1. No response necessary.
2. No response necessary.
3. The plan has been revised to proposed ten (10) rain gardens and one (1) underground detention basin.
4. The following responses are offered to each comment with regard to the rain gardens:
  - a. Rain Garden #1 – The grading has been revised and the water elevation for the 100-year design storm is 230.44. The spot shots have been added to provide relief between the home and this elevation. Any additional runoff will flow to Mienel Road and into the inlets within the front of the site, in lieu of of on the adjoining property located at the rear of the lot.
  - b. Rain Garden #2 – has been deleted.

- c. Rain Garden #2 (previously #3) – The grading and report have been revised to ensure the storage corresponds between the plan and report.
  - d. Rain Garden #3 (previously 4) - The grading and report have been revised to ensure the storage corresponds between the plan and report.
  - e. Rain Garden #4 (previously 5) – The depth has been increased to provided additional storage before the ponding of the rain garden reaches the home.
  - f. Rain Garden #5 (previously 6) – The grading has been revised so the rain garden is located entirely on Lot 3.
  - g. Rain Garden #6 (previously 7) – No comments.
  - h. Rain Garden #7 (previously 8) - The grading and report have been revised to ensure the storage corresponds between the plan and report.
  - i. Rain Garden #8 (previously 10) – The depth of the rain garden has been increased to provide additional storage before the ponding reaches the home.
  - j. Rain Garden #9 – This rain garden is a combination of the previous rain gardens 9 and 11.
  - k. Rain Garden #10 (previously 12) - The grading and report have been revised to ensure the storage corresponds between the plan and report.
5. A rain garden detail has been added to Sheet 16.
  6. The rain gardens have been shifted so they are only located on one lot. The owner of the lot will therefore own and maintain it. A PCSM has been designed and is currently under review by the MCCD. Once it is finalized it will be recorded as required.
  7. Please refer to the Geotechnical Report located within the appendix of the PCSM Report. The infiltration rates support the rain garden design.
  8. The homes are still under design, but our office will discuss a foundation underdrain with the architect and developer.
  9. The roof drains are shown on the Drainage Plan and the Post Drainage Area Plan located within the PCSM Report shows how each drains. All runoff from the homes was accounted for in the stormwater design.
  10. The rain garden design has been revised per the above comments.
  11. All comments above were addressed with the plan revisions and the report was revised as necessary.
  12. No response required

If you have any questions, please feel free to contact our office.

Sincerely,  
Cornerstone Consulting  
Engineers and Architectural, Inc.



John B. Anderson, P.E.

Cc: Steven Kozlowski, Owner/Applicant



**Cornerstone Consulting**  
Engineers & Architectural, Inc.

213 West Main Street . Lansdale, PA. 19446  
Tel 215.362.2600 ♦ Fax 215.362.8400

1176 N. Irving Street . Allentown, PA. 18109  
Tel 610.820.8200 ♦ Fax 610.820.3706

505 Tennis Club Circle . Lakeville, PA. 18438  
Tel 570.839.1770 ♦ Fax 610.820.3706

February 22, 2017  
Via: Hand Delivery

Abington Township Municipal Office  
Department of Planning and Code Enforcement  
1176 Old York Road  
Abington, PA 19001

Attn: Township Board of Commissioners

**RE: Proposed Subdivision Application**  
6 Single Family Homes  
1235 Meinel Road  
Abington Township  
Montgomery County, PA  
CCEA# 16-0205

Board of Commissioners:

As a part of the Preliminary/Final Subdivision plan submission package, please accept this letter as a formal waiver request for the above referenced project. Our office, on behalf of the applicant, Meinel Associates, LLC, respectfully requests the following waivers from the Board of Commissioners.

1. Section 146-11.A - Property Identification Plan: The applicant is required to provide the owner's names, tax parcel number and size of all properties within 400 feet of the site.

The plan shows the owner's names and tax parcel number for the properties immediately abutting the property. A waiver is requested to allow this application to proceed without providing the required information for all properties within 400 feet of the lot. For a smaller project of this nature within a well-developed area, the provided information on the adjoining properties, establishes an understanding of the surrounding conditions and shows the development is constant with the surrounding area.

2. Section 146-11.B – Existing Features Plan: The applicant is required to provide the size, type, depth, and location of all utilities within 400 feet of the site. In addition, all easements and right-of-ways must be identified.

The plan shows the existing features of the utilities, easements, and rights-of-ways immediately surrounding the site and as available at the time of the survey. A waiver is requested to allow this application to proceed without providing size/type/depth/location of some utilities (ie. gas lines, electric lines) as this information was not provided by the utility companies and could not be determined during the field survey. This information is shown for the storm and

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sanitary sewer mains. Additionally, the existing easements for the storm and sanitary mains have been plotted as necessary to design the site's improvements.

3. Section 146-11.C – Proposed Layout Plan: The plan is required to plot the location of all existing utilities, to include the size, type, and depth of all existing improvements proposed to remain and be removed.

As explained above a waiver is requested because this complete information is not known for all the existing utilities. The utility's mains are shown as provided through the PA One Call system at the time of the field survey.

4. Section 146-11.G – Utility Plan: A utility plan has been submitted however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines, and provide a street name.

A waiver is requested as the gas lines, telephone lines, and electric lines are not shown on the provided Utility Plan. These lines are typically designed by the specific utility companies at the time of a new service application. They can be shown on the plan, but the utility companies will dictate the final locations for the design.

5. Section 146-11.H – Landscape Plan: The applicant is required to submit a plan that clearly identifies the size, type, and location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.

---

A Landscape Plan has been added to the plan set, but the developer wishes to provide different landscape packages to the buyers which will be catered to their needs. This excludes the rain gardens which will be planted with an Ernst Conservation Mix.

6. Section 146.11.I – Phasing Plan: A phasing plan is required to be submitted that details the proposed timeline for construction.

At this time there is not a phasing plan for the construction of the site. The sequence of construction is detailed on the Erosion and Sedimentation Control Plan. A waiver is requested for this small of a construction site.

7. Section 146-27 – Sidewalks: The applicant requires a waiver as no sidewalks are proposed within the new cul-de-sac.

The developer believes the sidewalk will be excessive for a cul-de-sac roadway which serves 6 homes and is located approximately 300 feet from Meinel Road. The cul-de-sac will produce very little vehicle traffic and the residents will walk within the roadway as necessary. Additionally, not requiring the sidewalk to be installed will lower the additional impervious coverage of the site and stormwater management necessary to manage this impervious coverage. The sidewalk along Meinel Road will be maintained and re-constructed as necessary along the site's frontage.



8. Section 146-39 – Street Trees: The applicant is required to plant one street tree five feet inside the front proposed line every 50 feet.

The Landscape plan shows that 14 street trees are required for the development and the developer agrees to plant 14 shade trees throughout the site. However, due to the rain gardens and utility locations, they are requesting a waiver to provide them elsewhere on the lots.

9. Section 146-9.B – Plan Categories: This section of the ordinance requires a two stage approval process.

The applicant is requesting this plan be reviewed as preliminary/final.

It is the developer's intent to comply with all Township requirements. However, it is their opinion that strict conformance with the noted ordinance sections above would create unnecessary hardships for a proposed development of this size and the intent of the Ordinance has been meant within the provided plan set.

Should you have any questions or concerns please do not hesitate to contact our office.

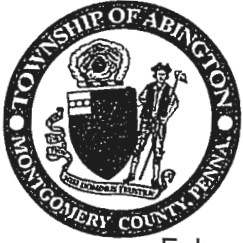
Sincerely,  
**Cornerstone Consulting  
Engineers & Architectural, Inc.**



---

Leslie Cunningham, P.E.

Cc: Steven Kozlowski, Owner/Applicant



Wayne C. Luker, President  
Steven N. Kline, Vice President  
Michael LeFevre, Manager  
Jay W. Blumenthal, Treasurer

February 22, 2017

1176 Old York Road Abington PA 19001-3713 Telephone: 267-536-1000

Mr. Eric Ponert, Sewage Enforcement Officer  
Philadelphia Water Department  
1101 Market Street – Aramark Tower  
Philadelphia, PA 19107

RE: Abington Township: 1235 Meinel Road - Planning Module Exemption verification

Dear Mr. Ponert:

The Abington Township Wastewater Utilities Department has reviewed the Planning Module Exemption Mailer, the Project Narrative and the development plans submitted by Cornerstone Consulting Engineers & Architectural, Inc. in regards to the proposed 6 (six) lot subdivision to be located at 1235 Meinel Road. We are requesting your review of the proposed sanitary sewer generation rates and the verification for conveyance and treatment plant capacity.

#### **Estimated sanitary generation rates-**

The criteria for verifying the existing sanitary sewer collection and conveyance systems are based on the historic recorded water consumption rates for similar residence buildings in Abington Township. The historical average monthly total flow for similar single residence buildings is 265 gpd/EDU. There was one (1) existing single residence home on the site which was connected to the Abington public sanitary sewer system. The existing home was demolished in preparation for the proposed construction of six (6) new homes. The total estimated average daily sanitary sewer discharge from the proposed development is 1,325 gpd (5 new lots X 265 gpd/EDU = 1,325 gpd).

#### **Existing sanitary collection and conveyance system capacity evaluation-**

The collection system capacity was reviewed from the existing manhole located on the site, downstream by gravity, to the Abington Old Ford Road Trunk sewer with its connection to the PWD Pine Road Interceptor at Meter Manhole MA2 (see enclosed Figure 1). The average daily flow at PWD's Meter Site MA2 has been 1.986 mgd with the peak hourly flow rate at 3.840 mgd (April 20, 2015). The additional flows from 1235 Meinel Road (1,325 gpd) plus the previously approved Penn State Residence Hall (15,519 gpd) and Molly Court-Rhoads Ave. development (2,120 gpd) are anticipated to increase the total average daily flow to 2.004 mgd and the peak hourly flow to 3.873 mgd. The permitted average daily flow at MA2 is 2.970 mgd and the peak hourly flow is 4.453 mgd. Therefore, the additional flows from the project are not anticipated to create a hydraulic overload.

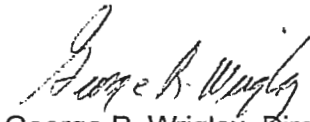


**Planning Module Application Mailer-**

The applicant's engineer (Cornerstone Consulting Engineers & Architectural, Inc.) has provided the completed mailer form(s) detailing the information for the development site along with a site plan. Would you please verify the available capacities and supporting documentation and then provide your verification of available conveyance and treatment plant system capacities.

Should you have any questions or require any additional information, please contact me at 215-884-8329 or email at [gwrigley@abington.org](mailto:gwrigley@abington.org).

Sincerely,



George R. Wrigley, Director  
Abington Wastewater Utilities Department

pc: Mr. Larry Matteo, Director of Code Enforcement  
Mr. Mark Penecale, Zoning Officer  
Ms. Leslie Cunningham, PE., Cornerstone Consulting Engineers & Architectural, Inc.

Enclosures

1. Development Information

Name of Development Meinel Road Subdivision  
Developer Name Kozlowski Construction  
Address 872 Jenkintown Road  
Elkins Park, PA 19027  
Telephone # 215-704-2525  
Email stevenkoz@aol.com

2. Location of Development

a. County Montgomery  
b. Municipality Abington Township  
c. Address or Coordinates 1235 Meinel Road  
Abington, PA 19001  
d. Tax Parcel # 30-00-42928-008  
e. USGS Quad Name Frankford, PA  
inches up \_\_\_\_\_ over \_\_\_\_\_  
from bottom right corner of map.  
f. Located in a High Quality/Exceptional Value watershed?  
 Yes  No

3. Type of Development Proposed (check appropriate box)

Residential  Multi-Residential  
Describe 6 lots with new single residence homes  
 Commercial  Institutional  
Describe \_\_\_\_\_  
 Brownfield Site Redevelopment  
 Other (specify) \_\_\_\_\_

4. Size

a. # of lots 6 # of EDUs 6 (1 existing)  
b. # of lots since 5/15/72 1  
c. Development Acreage 3.5 ac.  
d. Remaining Acreage 0

5. Sewage Flows 1,325 gpd

6. Proposed Sewage Disposal Method (check applicable boxes)

a.  Sewerage System  
 Existing (connection only)  New (extension)  
 Public  Private  
 Pump Station(s)/Force Main  Gravity  
Name of existing system being extended  
Wingate Trunk Sewer (from Old Ford Trunk Sewer)  
Interceptor Name PWD Pine Road  
Treatment Facility Name PWD - Northeast Water  
Pollution Control Plant

NPDES Permit # PA0026689

b.  Construction of Treatment Facility  
 With Stream Discharge  
 With Land Application (not including IRSIS)  
 Other  
 Repair?  
Name of waterbody where point of discharge is proposed  
(if stream discharge)  
\_\_\_\_\_

c.  Onlot Sewage Disposal Systems  
(check appropriate box)  
 Individual onlot system(s) (including IRSIS)  
 Community onlot system  
 Large-Volume onlot system

d.  Retaining tanks  
Number of Holding Tanks \_\_\_\_\_  
Number of Privies \_\_\_\_\_

7.  Request Sewage Facilities Planning Module forms in electronic format

8. Request for Planning Exemption

a. Protection of rare, endangered or threatened species  
Check one:  
 The "PNDI Project Environmental Review Receipt" is attached.  
or  
 A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning exemption will be considered incomplete and that the DEP processing of my planning exemption request will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_

b.  Plot Plan Attached  Site Reports Attached

c. Onlot Disposal Systems

(1) I certify that the Official Plan shows this area as an onlot service area.

\_\_\_\_\_  
(Signature of Municipal Official) / Date  
\_\_\_\_\_  
Name (Print) / Title

Municipality (must be same as in 2.b.)

Telephone # \_\_\_\_\_

(2) I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

\_\_\_\_\_  
Signature of SEO / Date  
\_\_\_\_\_  
Name (Print) / Certification #

Telephone # \_\_\_\_\_

(3) I certify that each lot in this subdivision is at least 1 acre in size

\_\_\_\_\_  
(Signature of Project Applicant/Agent) / Date

d. Public Sewerage Service (i.e., ownership by municipality or authority)

Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

\_\_\_\_\_  
(Signature of Municipal Official) / Date  
\_\_\_\_\_  
Name (Print) / Title

Philadelphia Water Department  
Municipality (must be same as in 2.b.)

Telephone # \_\_\_\_\_

## 1. PROJECT INFORMATION

Project Name: 1235 Meinel Road

Date of Review: 9/15/2016 03:53:55 PM

Project Category: Development, Residential, Subdivision containing more than 2 lots and/or 2 single-family units

Project Area: 6.71 acres

County(s): Montgomery

Township/Municipality(s): ABINGTON

ZIP Code: 19006

Quadrangle Name(s): FRANKFORD

Watersheds HUC 8: Lower Delaware

Watersheds HUC 12: Lower Pennypack Creek

Decimal Degrees: 40.097585, -75.086675

Degrees Minutes Seconds: 40° 5' 51.3074" N, 75° 5' 12.282" W

## 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

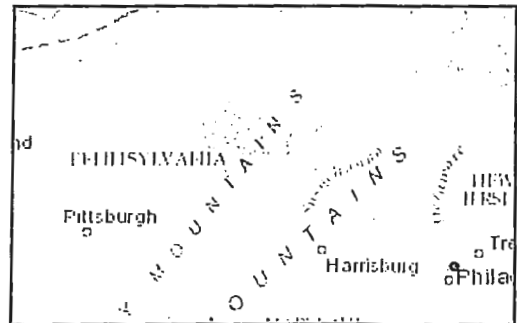
As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

### 1235 Meinel Road

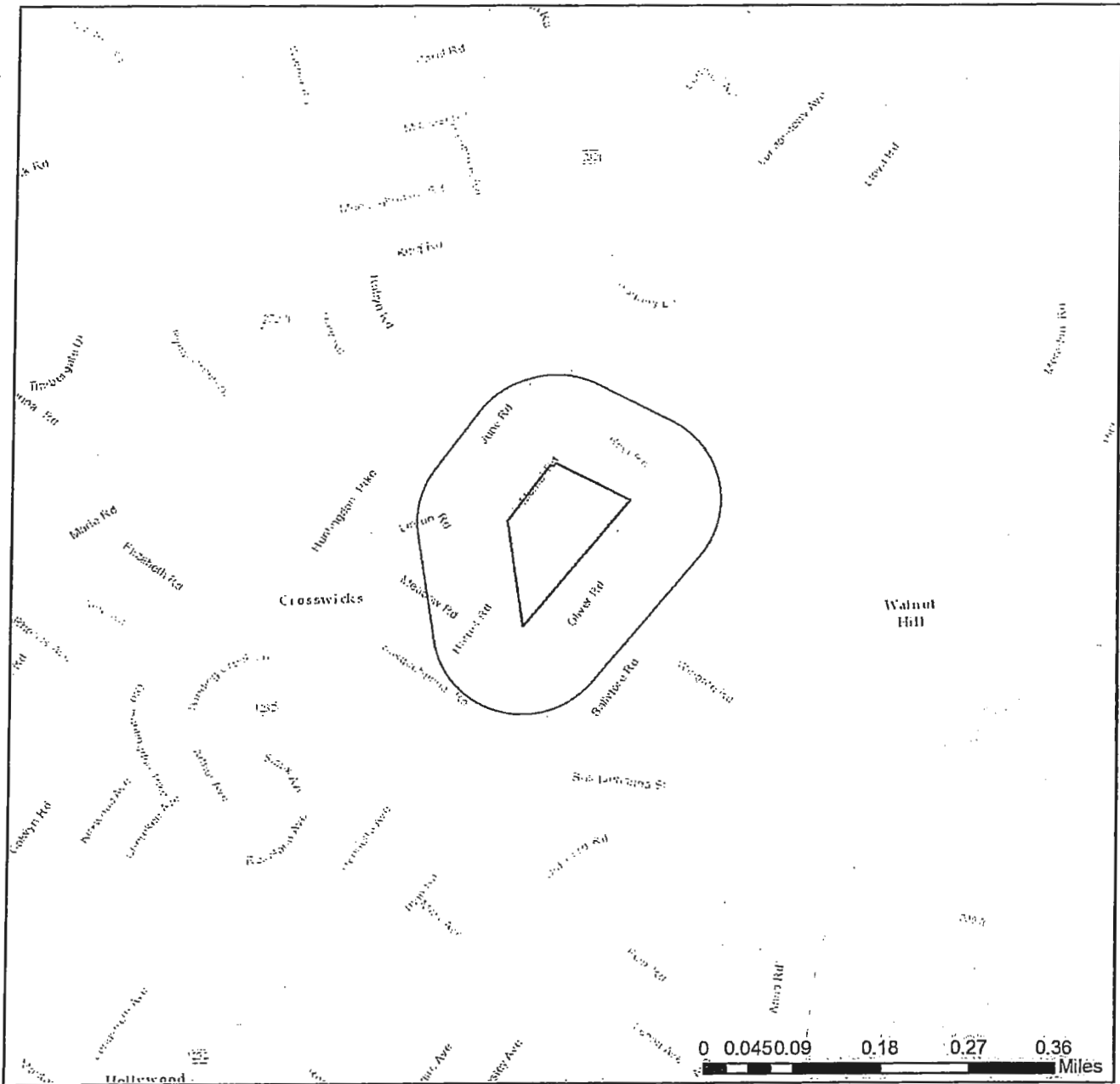


- Project Boundary
- Buffered Project Boundary



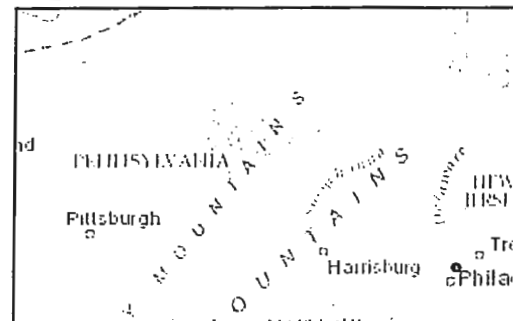
Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA,

# 1235 Meinel Road



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



## RESPONSE TO QUESTION(S) ASKED

**Q1:** The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this.

**Your answer is:** The project will affect 1 to 39 acres of forests, woodlots and trees.

**Q2:** Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

**Your answer is:** No

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

##### RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.



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## 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

### PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552  
Harrisburg, PA 17105-8552  
Email: [RA-HeritageReview@pa.gov](mailto:RA-HeritageReview@pa.gov)  
Fax: (717) 772-0271

### U.S. Fish and Wildlife Service

Pennsylvania Field Office  
Endangered Species Section  
110 Radnor Rd; Suite 101  
State College, PA 16801  
NO Faxes Please

### PA Fish and Boat Commission

Division of Environmental Services  
450 Robinson Lane, Bellefonte, PA 16823  
Email: [RA-FBPACENOTIFY@pa.gov](mailto:RA-FBPACENOTIFY@pa.gov)

### PA Game Commission


Bureau of Wildlife Habitat Management  
Division of Environmental Planning and Habitat Protection  
2001 Elmerton Avenue, Harrisburg, PA 17110-9797  
Email: [RA-PGC\\_PNDI@pa.gov](mailto:RA-PGC_PNDI@pa.gov)  
NO Faxes Please

## 7. PROJECT CONTACT INFORMATION

Name: LESLIE CUNNINGHAM  
Company/Business Name: CORNERSTONE CONSULTING  
Address: 213 W. MAIN ST.  
City, State, Zip: LANSDALE, PA 19440  
Phone: (215) 312-2600 Fax: (215) 312-8400  
Email: cunningham@cornerstonenet.com

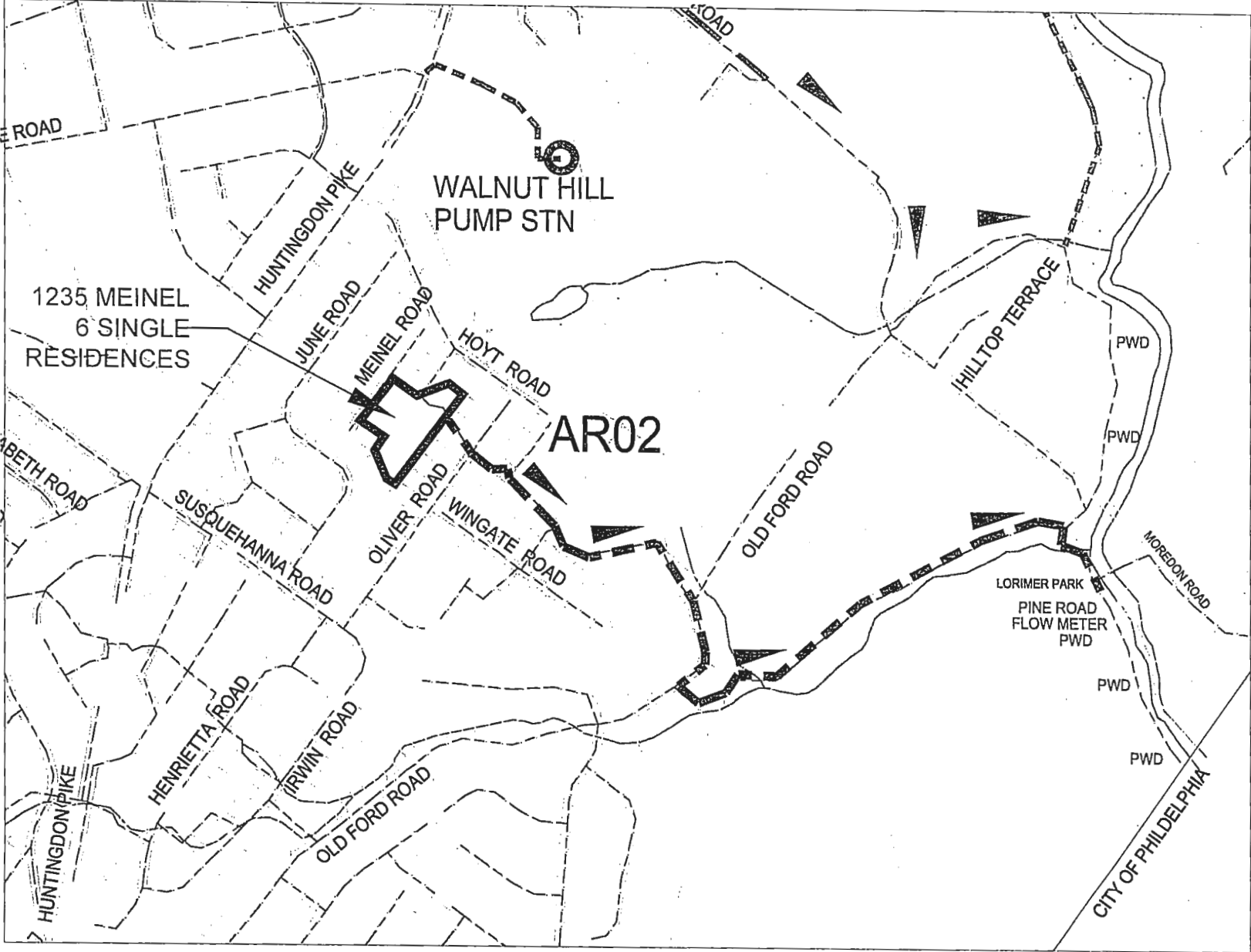
## 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

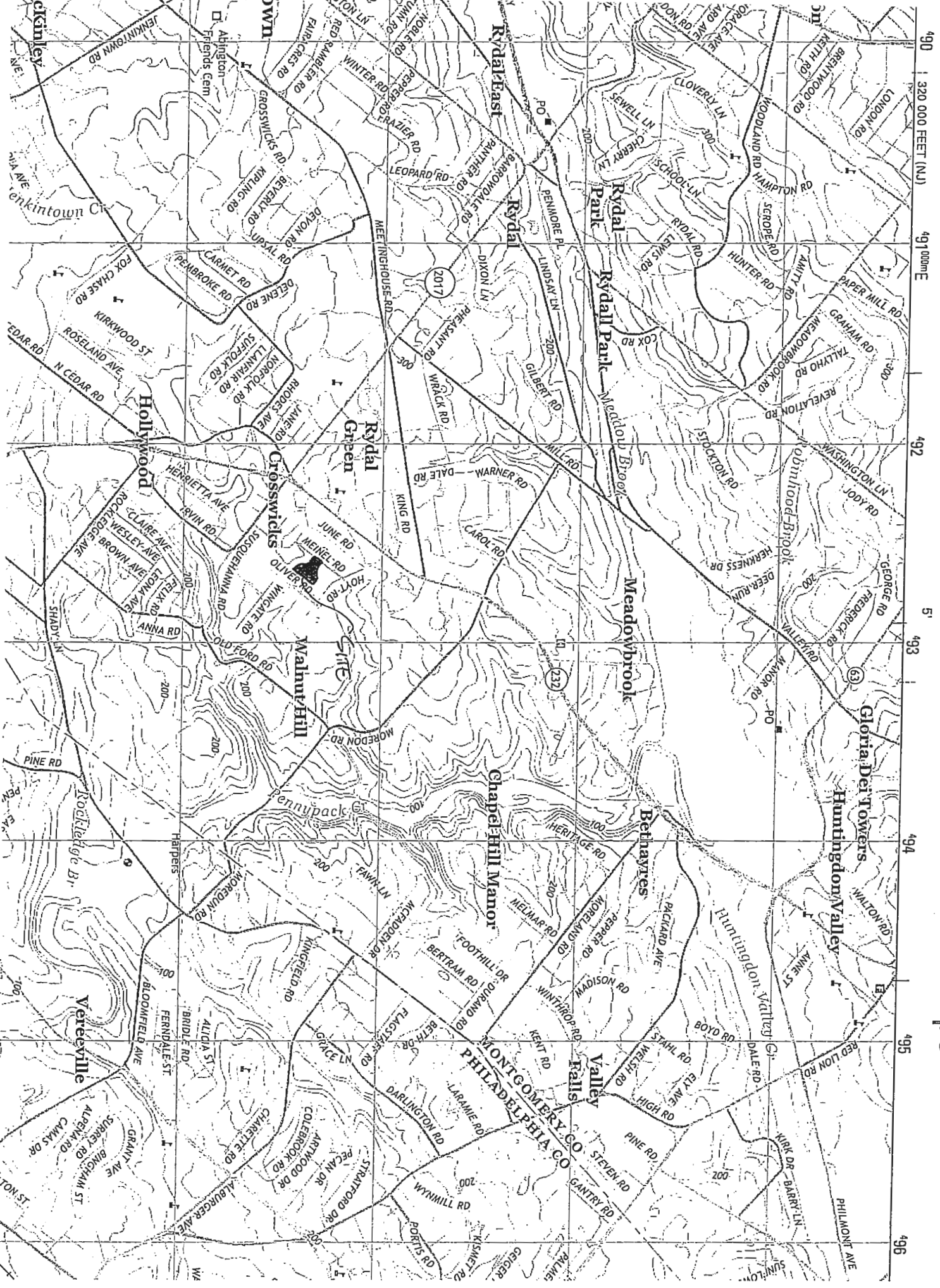
  
\_\_\_\_\_  
applicant/project proponent signature

9.15.2016  
\_\_\_\_\_  
date

FIGURE 1



ABINGTON TOWNSHIP, MONTGOMERY COUNTY  
1235 MEINEL - SANITARY SEWER FLOW PATH





**AN EXELON COMPANY**  
400 Park Ave  
Warminster, PA 18974

January 11, 2017

To: Kozlowski Construction  
872 Jenkintown Rd.  
Elkins Park, Pa. 19027

RE: Proposed: 6 Lot Subdivision Meinel Rd., Huntington Valley

Dear Mr.Kozlowski,

In response to your request, please be advised that your above-mentioned development is in PECO Energy Company's electric and gas service territory. Whether there is sufficient capacity in the electric and natural gas system to serve your development will be determined based on the final approved plans for the development that are submitted by the builder at pre-design. Accordingly, do not advertise your development as having natural gas services until PECO Energy Gas engineering department has determined capacity.

If you desire any further information, please do not hesitate to call me at (215) 956-3168.

Cordially,

A handwritten signature in black ink, appearing to read "Tom Barratt".

Thomas Barratt  
Project Manager  
PECO NRCG



Wayne C. Luker, President  
Steven N. Kline, Vice President  
Michael LeFevre, Manager  
Jay W. Blumenthal, Treasurer

1176 Old York Road Abington PA 19001-3713 Telephone: 267-536-1000

February 15, 2017

Mr. Mark Penecale, Planning & Zoning Officer  
Township of Abington  
1176 Old York Road  
Abington, PA 19001

RE: 1235 Meinel Road Sanitary Sewer Review

Dear Mr. Penecale:

The Wastewater Utilities Department has reviewed the Preliminary/Final land development plans dated November 1, 2016 and last revised February 8, 2017 prepared by Cornerstone Consulting Engineers & Architectural, Inc. in regards to the proposed sanitary sewers and the projected sanitary sewer generation rates with respect to the existing sanitary conveyance system capacities. We have the following comments:

#### **Estimated sanitary generation rates:**

The criteria for verifying the existing sanitary sewer collection and conveyance systems are based on the water consumption rates for similar residential buildings throughout Abington Township. The average single residential water use is 265 gallons per day (gpd). There are six (6) residential homes proposed for the development. There was one (1) existing single residence on the property prior to the proposed land development, therefore, the net increase of residences is five (5). The total additional number of Equivalent Dwelling Units (EDU) for the proposed development is five (5), which equates to 1,325 gpd ( $5 \times 265 \text{ gpd/EDU} = 1,325 \text{ gpd}$ ). The connection/capacity cost for the additional 5 EDU's at \$3,500.00 /EDU totals \$17,500.00.

#### **Development plan review:**

The following comments are based on the set of development plans consisting of Sheet 1 of 17 thru 17 of 17, dated November 1, 2016 and last revised February 8, 2017.

Sheet 2 of 17 – After an extensive on site inspection by the Wastewater Department staff, the existing sanitary sewer Manhole No. 3318 cover could not be located at the surface. Internal televising of the sanitary sewer revealed that the apparent location of Manhole No. 3318 is closer to the rear property line and the sewer line between Manhole No. 3318 and Manhole No. 3319 is in a straight line. The location of Manhole No. 3318 has been identified with white paint on the ground surface. The developer should uncover the existing manhole and survey the existing location and manhole elevations to update the land development plans. The depth and slope of the existing sewer line must be determined in order to design the proposed Manhole No. 1. The existing sanitary sewer easement should also be revised to conform with the actual sewer line locations. The plan shall indicate that no trees, bushes, sheds, storage buildings, structures, pools, nor fences shall be



erected within the sanitary sewer easement. The deed for Lot No. 3 shall contain language identifying the permanent sanitary sewer easement and describing the restrictions.

Sheet 11 of 17 – The elevations of the proposed Manhole No. 1 must be revised in accordance with the surveying of the as built location and depth of Manhole No. 3318. The proposed depth of Manhole No. 1 at the existing sewer main is indicated as a drop connection. The manhole shall be constructed in accordance with Detail No.'s 11, 13, 20 & 29 (see enclosed copies). Manhole No. 3318 should be raised to 1 foot above finished grade. If the adjustment exceeds 18 inches, 4 foot diameter, pre-cast concrete sections should be added to raise the cone and manhole frame to 1 foot above finished grade.

Sheet 11 of 17 – A twelve (12) foot wide easement should be indicated on the plans between Manhole No. 1 and Manhole No. 2. A meets and bounds description, easement plan and dedication documents should be prepared by the developer for dedicating the proposed sanitary sewer to Abington Township. The adjacent driveways for Lot No. 2 and 3 shall meet at the property line to allow access by Abington Township for sanitary sewer system operation and maintenance. The driveways within the easement shall be constructed to the same standards as for Township roadways. The plan shall indicate that no trees, bushes, sheds, storage buildings, structures, pools, nor fences shall be erected within the sanitary sewer easement. The deed for Lot No. 2 and 3 shall contain language identifying the permanent sanitary sewer easement and describing the restrictions. The location of separate lateral wye fittings for the connections from Lot No.'s 2 and 3 into the proposed sewer main shall be separated by a minimum of 3 feet.

Sheet 11 of 17 – Cleanouts, (see enclosed Detail No. 38) should be installed in all sanitary sewer laterals, spaced at no more than 50 feet and installed immediately upstream from elbows. Sanitary sewer pipe shall be installed in accordance with Township of Abington Details (see enclosed Detail No.'s 1, 2, 7, 18, and 25). Existing sidewalk and curbing that is disturbed shall be replaced in accordance with current Township specifications. All details shall be made part of the development plans.

Sheet 11 of 17 – Proposed sanitary Manhole No. 2 shall provide two (2) 6" diameter cast in place, pipe to concrete rubber sealing joints to receive the laterals from Lot No.'s 4 and 5. The lateral pipe openings in Manhole No. 2 shall be separated by a minimum of 2 feet from each lateral pipe sidewall.


Sheet 14 of 17 – Site Details: The details "Type A Standard Manhole", "Water Crossings", "Utility Crossings", "Standard Manhole Frame and Cover" and "Sanitary Sewer Service Connection" should be replaced with the current Township of Abington Sanitary Sewer Details. (see enclosed) Proposed Details "Vent Pipe in Paving or Sidewalk Detail", "PVC Pipe Embedment" and "Concrete Encasement" should be omitted from the plans. Vent pipes proposed for asphalt surfaces shall conform to Detail No. 38 and be modified to use the "Clean-out Protection Sleeve" detail as indicated on this sheet.

#### **Planning Module Exemption Mailer:**

The form and supporting documentation will be required to be submitted to the Philadelphia Water Department (PWD) for conveyance system and treatment facility capacity verification. The completed form(s) verifying available sanitary capacities will then be submitted to PaDEP.

Should you have any questions or require any additional information, please contact me at 215-884-8329 or email at [gwrigley@abington.org](mailto:gwrigley@abington.org).

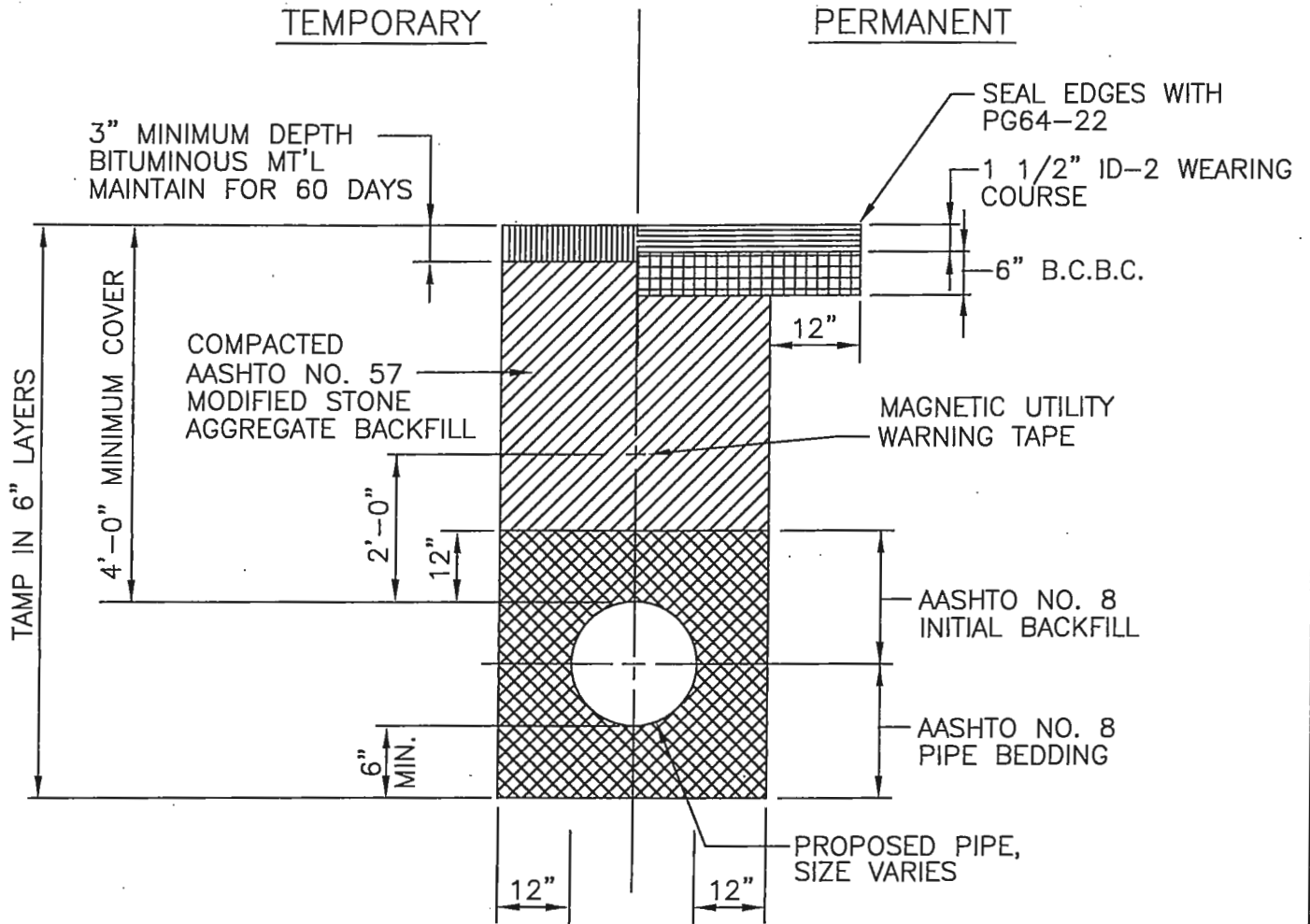
Sincerely,



George R. Wrigley, Director  
Abington Township Wastewater Utilities Department

pc: Mr. Larry Matteo, Director of Code Enforcement  
Meinel Associates, LLC.  
Leslie A. Cunningham, PE., Project Manager,  
Cornerstone Consulting Engineers & Architectural, Inc.





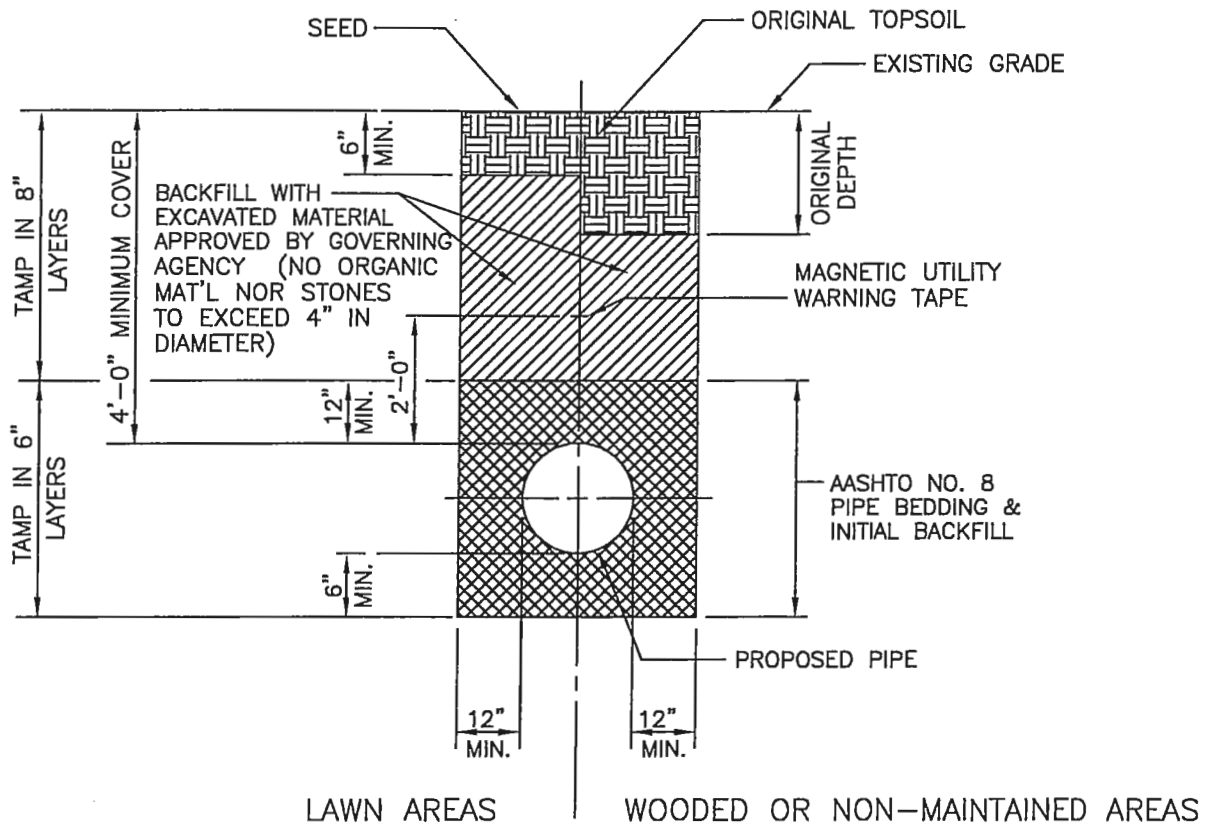
ALL WORK TO BE DONE IN ACCORDANCE  
WITH PADOT PUBLICATION 408

**Township of Abington**  
**STANDARD DETAIL - SANITARY SEWER**

**BACKFILL AND PAVEMENT RESTORATION**  
**DETAIL FOR STATE / TWP. ROADS**

DATE:  
OCTOBER 2015

DETAIL:

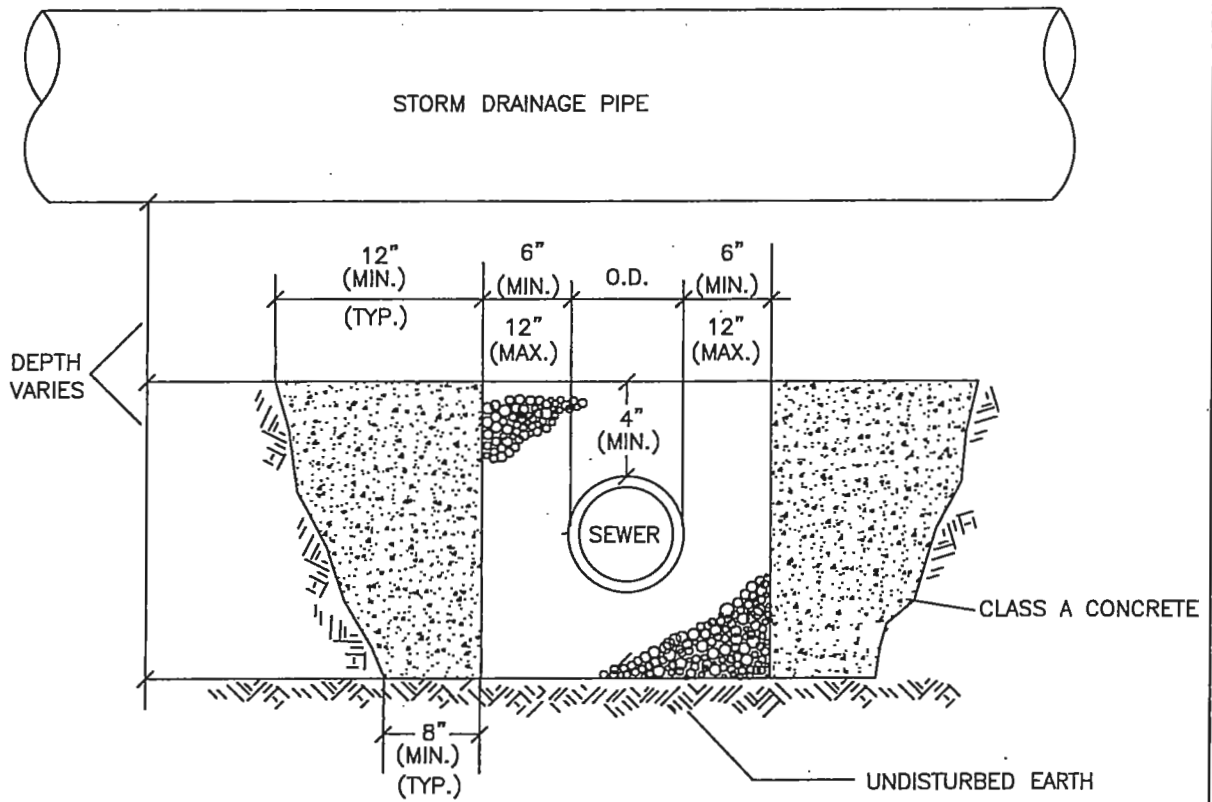


Township of Abington  
STANDARD DETAIL - SEWER SYSTEM

TRENCH RESTORATION  
LAWN / WOODED AREAS

DATE:  
NOVEMBER 2015

DETAIL:



NOTES:

1. PIERS TO BE 5 FT. LONG CENTERED ON STORM DRAIN.
2. USE 3000 PSI CLASS A CONCRETE.
3. FORM PIERS AGAINST SOLID TRENCH WALLS.
4. PIERS REQUIRED WHEN CLEARANCE BETWEEN PIPES IS LESS THAN 18".
5. MAINTAIN SLOPE OF EACH UTILITY AT CROSSING.

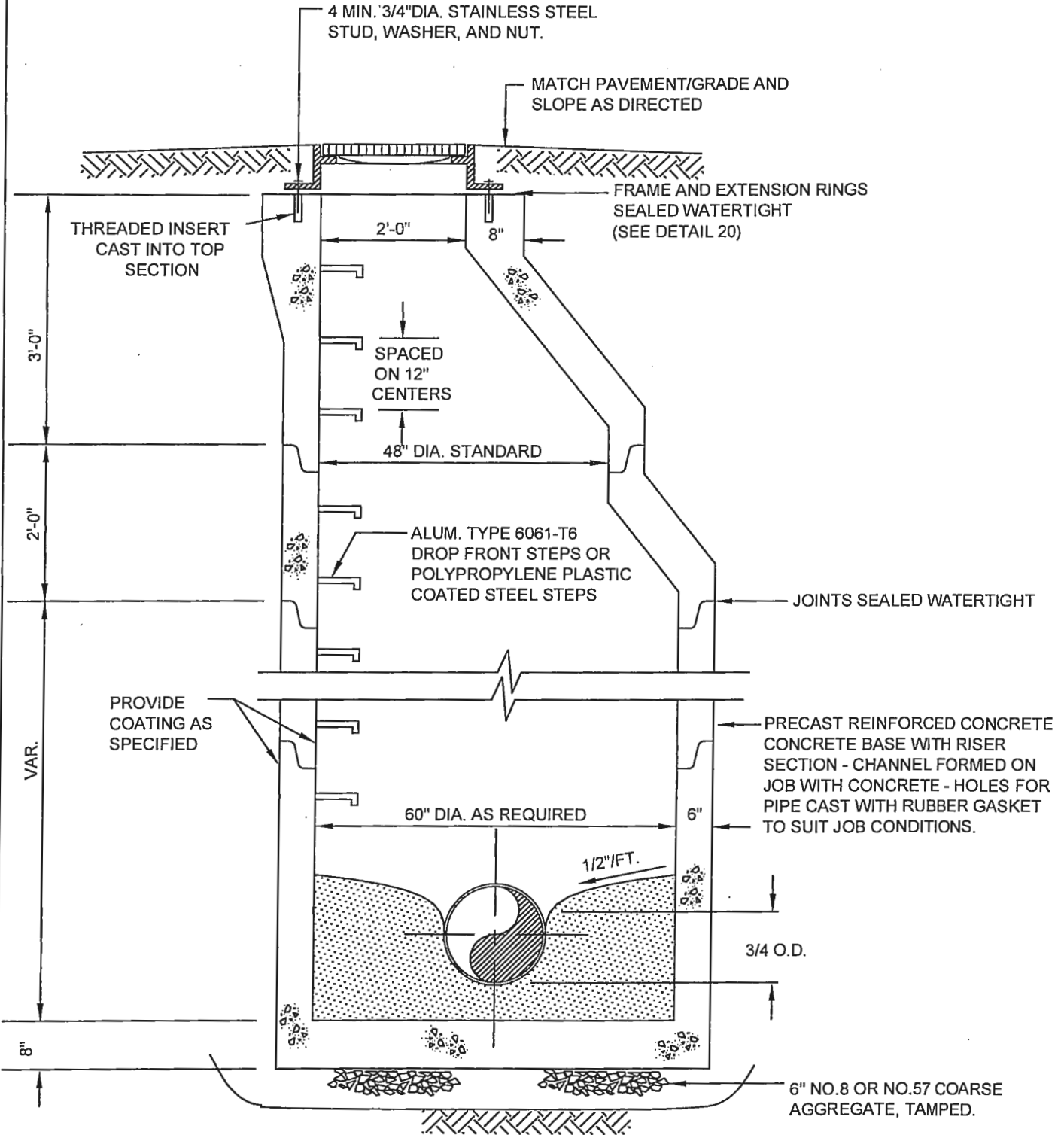
Township of Abington  
STANDARD DETAIL - SEWER SYSTEM

GRAVITY SEWER CROSSING DETAIL  
USING PIER SUPPORTS

DATE:  
NOVEMBER 2015

DETAIL:

- NOTE: 1. BOLTING OF MANHOLE FRAME AND COVER NOT REQUIRED FOR MANHOLES INSTALLED IN PAVED SURFACES.  
 2. ALL STONE GRADATIONS ARE AASHTO CLASSIFICATION.  
 3. PIPES SHALL PROTRUDE 2" INSIDE MANHOLE WALL

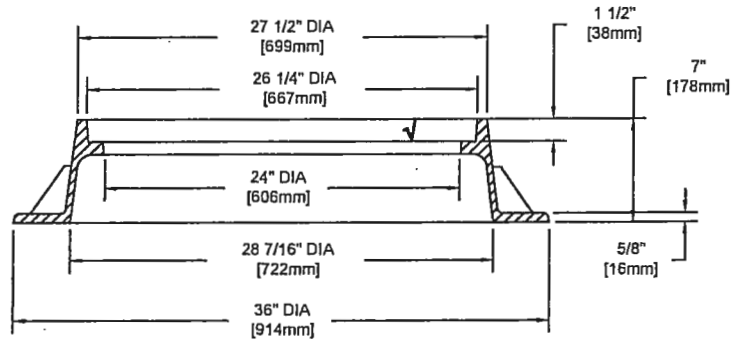
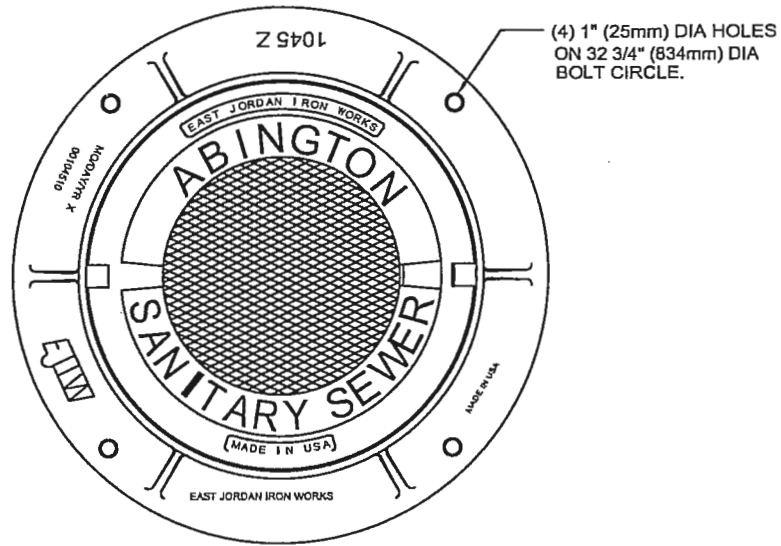


Township of Abington  
 STANDARD DETAIL - SANITARY SEWER

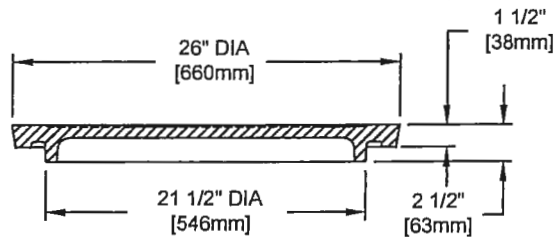
PRECAST CONCRETE MANHOLE  
 W./ PRECAST CONCRETE BASE

DATE:  
 NOVEMBER 2015

DETAIL:  
 10



FRAME SECTION



COVER SECTION

Castings to be treated by the manufacturer with water-based, black asphaltic, environmentally safe coating, free of surface rust, before leaving the foundry.

✓ MACHINED SURFACE

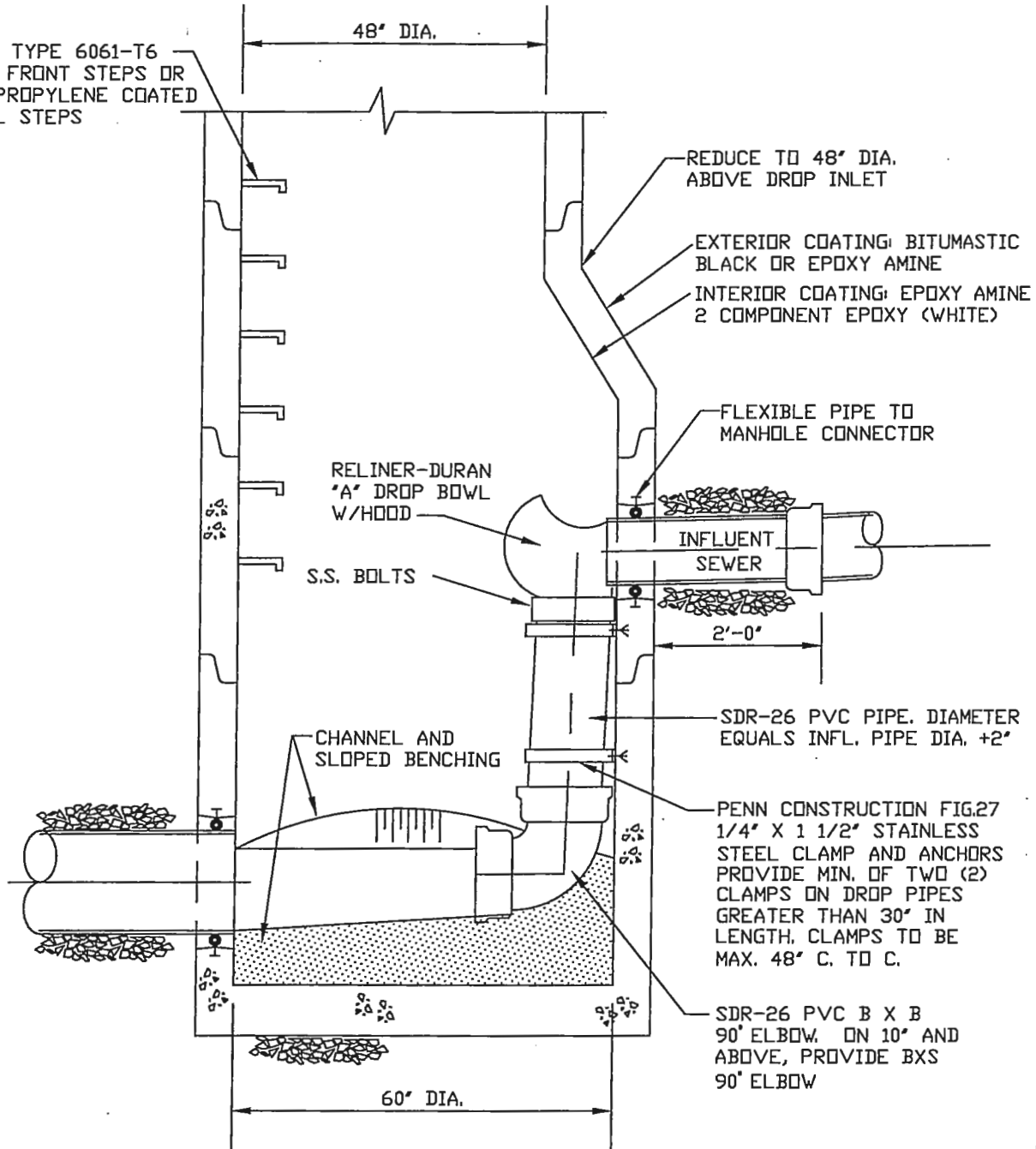
Township of Abington  
STANDARD DETAIL - SEWER SYSTEM

STANDARD MANHOLE  
FRAME & COVER DETAIL

DATE:  
NOVEMBER 2015

DETAIL:  
11

ALUM. TYPE 6061-T6  
DROP FRONT STEPS OR  
POLYPROPYLENE COATED  
STEEL STEPS



REDUCE TO 48" DIA.  
ABOVE DROP INLET

EXTERIOR COATING: BITUMASTIC  
BLACK OR EPOXY AMINE

INTERIOR COATING: EPOXY AMINE  
2 COMPONENT EPOXY (WHITE)

FLEXIBLE PIPE TO  
MANHOLE CONNECTOR

RELINER-DURAN  
'A' DROP BOWL  
W/HOOD

INFLUENT  
SEWER

S.S. BOLTS

2'-0"

CHANNEL AND  
SLOPED BENCHING

SDR-26 PVC PIPE. DIAMETER  
EQUALS INFL. PIPE DIA. +2"

PENN CONSTRUCTION FIG.27  
1/4" X 1 1/2" STAINLESS  
STEEL CLAMP AND ANCHORS  
PROVIDE MIN. OF TWO (2)  
CLAMPS ON DROP PIPES  
GREATER THAN 30" IN  
LENGTH. CLAMPS TO BE  
MAX. 48" C. TO C.

SDR-26 PVC B X B  
90° ELBOW. ON 10" AND  
ABOVE, PROVIDE BXS  
90° ELBOW

60" DIA.

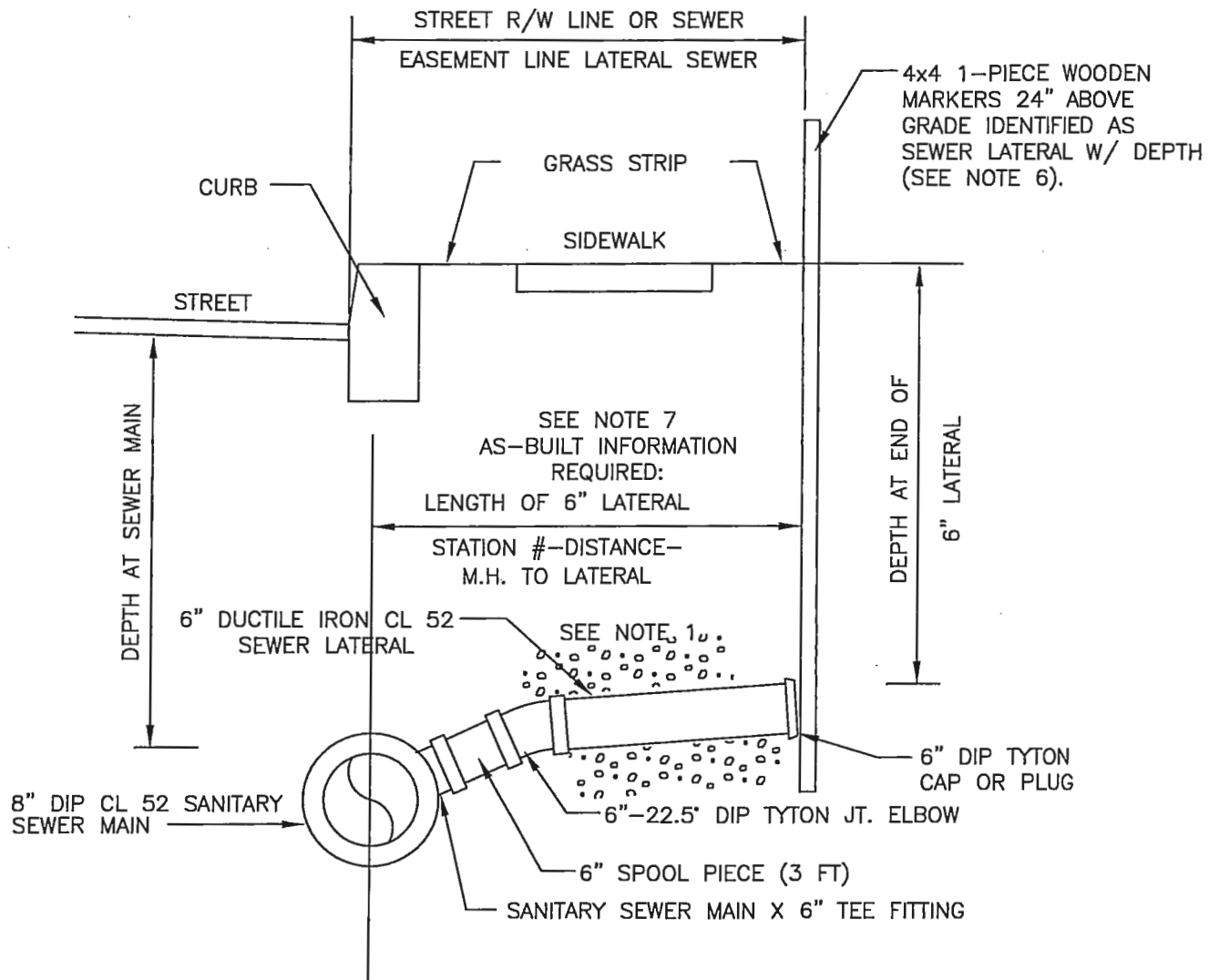
NOTES: 5' DIAMETER MANHOLE TO BE UTILIZED FOR INSIDE DROP MANHOLE  
PIPED DROP TO BE USED FOR VERTICAL ELEVATION CHANGE GREATER THAN 2 FT.

Township of Abington  
STANDARD DETAIL - SEWER SYSTEM

PRECAST SANITARY MANHOLE INSIDE  
DROP CONNECTION (8" - 24" SEWERS)

DATE:  
NOVEMBER 2015

DETAIL:



**NOTES:**

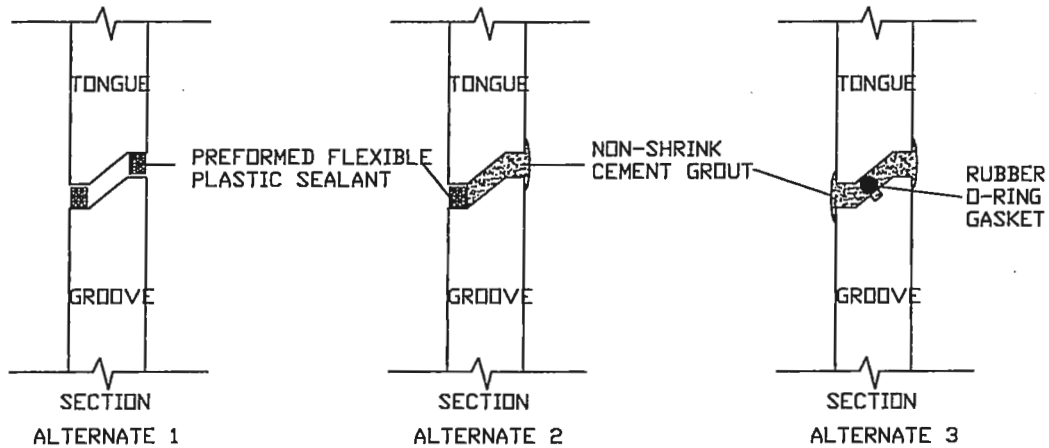
- 1) PROVIDE 6" OF AASHTO NO. 8 (1B) OR 2B STONE BELOW PIPE AND 12" ABOVE PIPE (TYPICAL ENTIRE LENGTH OF LATERAL).
- 2) MINIMUM SLOPE = 1% (1/8" PER FT.)
- 3) MINIMUM DEPTH OF COVER = 4 FT
- 4) PIPE MATERIALS:  
ALL PIPES TO BE DUCTILE IRON PIPE CLASS 52 WALL THICKNESS
- 5) DEVELOPER SHALL TEST AGAINST 6" TYTON CAP OR PLUG.
- 6) DEVELOPER SHALL INSTALL THE LATERAL SEWER TO THE EDGE OF THE SEWER EASEMENT FOR SEWERS LOCATED IN AN EASEMENT OR TO THE STREET RIGHT-OF-WAY AS A MINIMUM, OR TO SUCH POINT, AS REQUIRED, TO CLEAR STREET SIDEWALKS AND UNDERGROUND UTILITIES.
- 7) INFORMATION THAT IS REQUIRED FOR RECORD PLANS

**Township of Abington  
STANDARD DETAIL - SEWER SYSTEM**

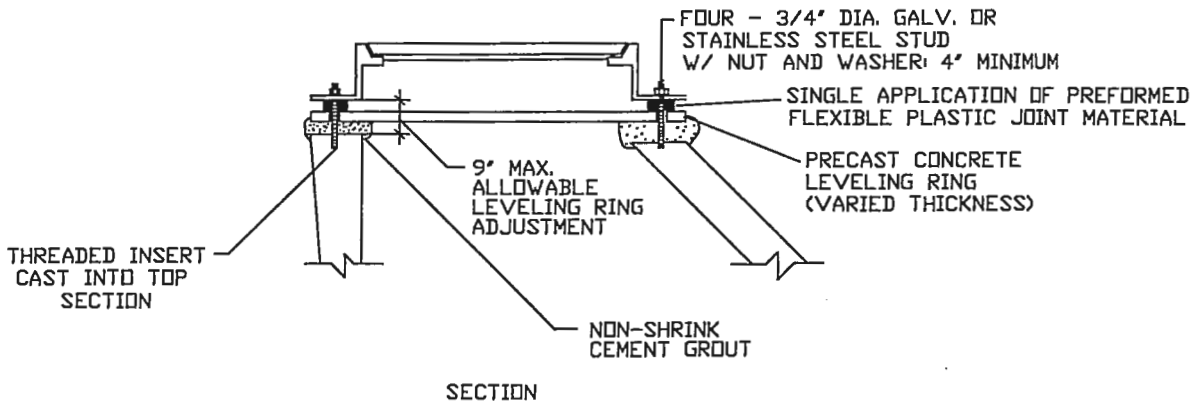
**SEWER LATERAL INSTALLATION DETAIL**

DATE:  
JANUARY 2106

DETAIL:



PRECAST CONCRETE  
MANHOLE SECTION GASKETS



MANHOLE FRAME & LEVELING RINGS

NOTES:

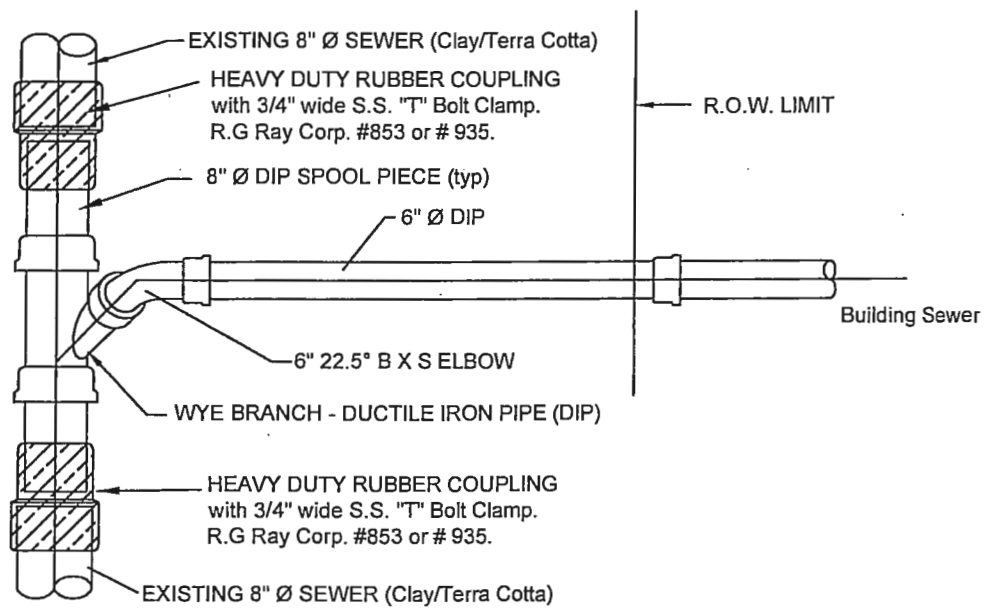
- 1.) ALL NON-SHRINK CEMENT GROUT SHALL BE TROWLED SMOOTH.
- 2.) EXCESS PREFORMED FLEXIBLE PLASTIC JOINT SEALANT SHALL BE NEATLY TRIMMED FOR ALL JOINTS.

Township of Abington  
STANDARD DETAIL - SANITARY SEWER  
MANHOLE GASKETS, LEVELING RINGS,  
AND BOLTED FRAME DETAIL

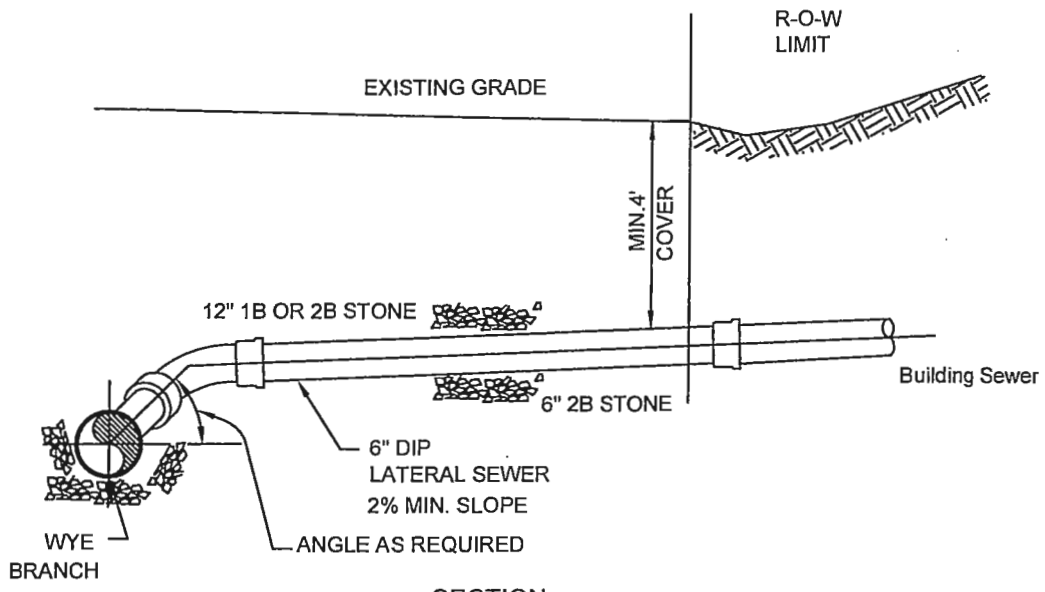
DATE:  
NOVEMBER 2015

DETAIL:





PLAN



SECTION

Township of Abington  
STANDARD DETAIL - SANITARY SEWER

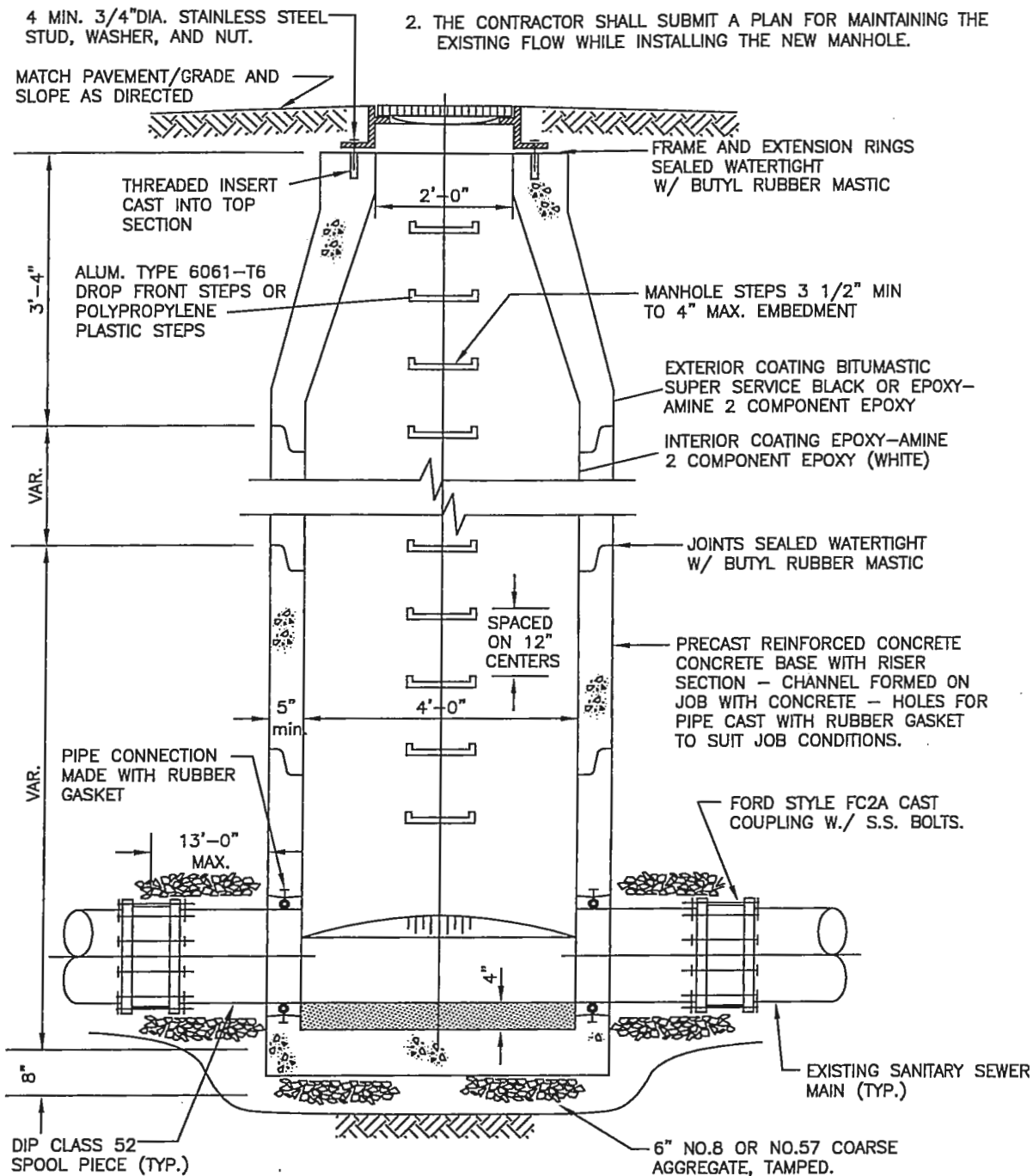
LATERAL CONNECTION TO EXISTING  
CLAY OR TERRA COTTA SEWER MAIN

DATE:  
OCTOBER 2015

DETAIL:  
25

NOTES:

1. PRIOR TO INSTALLATION OF MANHOLE THE CONTRACTOR SHALL TEST DIG AND DETERMINE THE O.D. AND OVALITY OF THE EXISTING PIPE.
2. THE CONTRACTOR SHALL SUBMIT A PLAN FOR MAINTAINING THE EXISTING FLOW WHILE INSTALLING THE NEW MANHOLE.



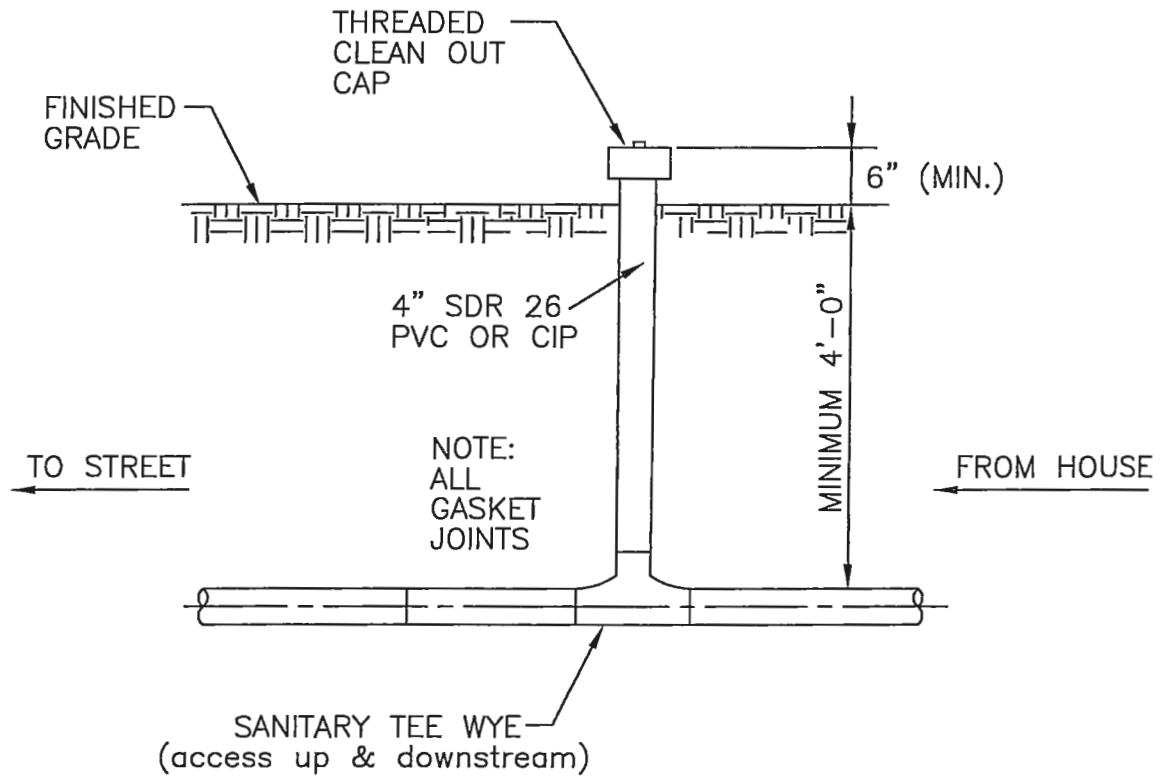
Township of Abington  
STANDARD DETAIL - SANITARY SEWER SYSTEM

INSERTION OF A PRECAST CONCRETE MANHOLE  
INTO AN EXISTING SEWER MAIN

DATE:  
SEPT. 2015

DETAIL:  
29

NOTE:  
CAPS TO REMAIN ABOVE GRADE AT ALL  
TIMES DURING & AFTER INSTALLATION.

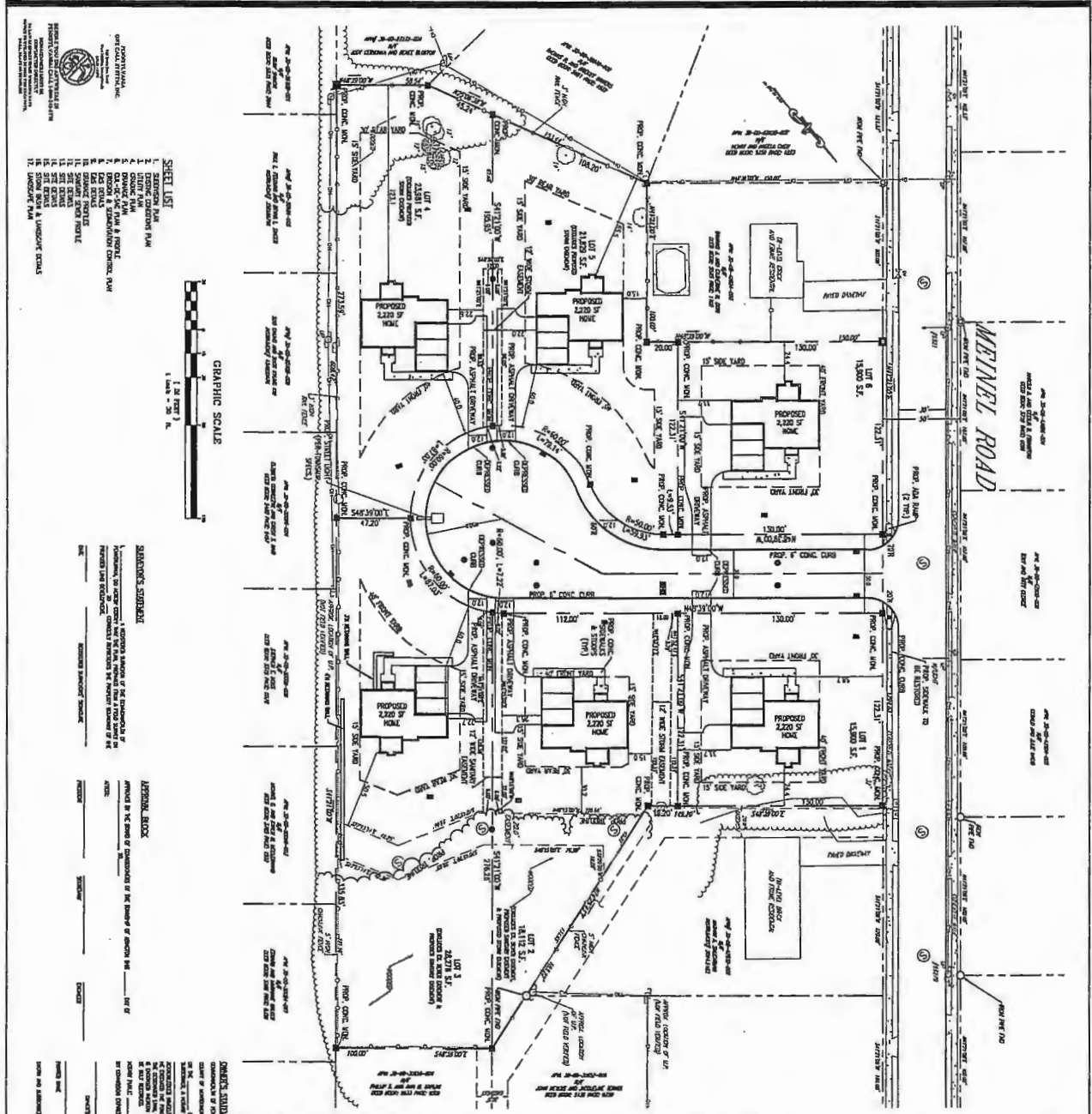


Township of Abington  
STANDARD DETAIL - SEWER SYSTEM

TYPICAL BUILDING SEWER CLEANOUT ASSEMBLY

DATE:  
JANUARY 2016

DETAIL:



- SHEET LIST**
- 1. SITE PLAN
  - 2. EXISTING CONDITIONS PLAN
  - 3. CONCEPT PLAN
  - 4. CONCEPT PLAN
  - 5. CONCEPT PLAN
  - 6. CONCEPT PLAN
  - 7. EXISTING & PROPOSED CONDITIONS PLAN
  - 8. EXISTING & PROPOSED CONDITIONS PLAN
  - 9. EXISTING & PROPOSED CONDITIONS PLAN
  - 10. EXISTING & PROPOSED CONDITIONS PLAN
  - 11. EXISTING & PROPOSED CONDITIONS PLAN
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  - 16. EXISTING & PROPOSED CONDITIONS PLAN
  - 17. EXISTING & PROPOSED CONDITIONS PLAN
  - 18. EXISTING & PROPOSED CONDITIONS PLAN
  - 19. EXISTING & PROPOSED CONDITIONS PLAN
  - 20. EXISTING & PROPOSED CONDITIONS PLAN



- OWNER'S REQUIREMENTS**
- 1. Provide site plan for the proposed building.
  - 2. Provide site plan for the proposed parking lot.
  - 3. Provide site plan for the proposed driveway.
  - 4. Provide site plan for the proposed utility lines.
  - 5. Provide site plan for the proposed landscaping.
  - 6. Provide site plan for the proposed signage.
  - 7. Provide site plan for the proposed lighting.
  - 8. Provide site plan for the proposed security.
  - 9. Provide site plan for the proposed fire protection.
  - 10. Provide site plan for the proposed accessibility.

- GENERAL NOTES**
1. All work shall be in accordance with the approved plans and specifications.
  2. The contractor shall be responsible for obtaining all necessary permits.
  3. All materials and workmanship shall be in accordance with the approved plans and specifications.
  4. The contractor shall be responsible for protecting all existing utilities.
  5. All work shall be completed within the specified time frame.
  6. The contractor shall be responsible for maintaining access to all adjacent properties.
  7. All work shall be completed in accordance with the approved plans and specifications.
  8. The contractor shall be responsible for obtaining all necessary permits.
  9. All materials and workmanship shall be in accordance with the approved plans and specifications.
  10. The contractor shall be responsible for protecting all existing utilities.
  11. All work shall be completed within the specified time frame.
  12. The contractor shall be responsible for maintaining access to all adjacent properties.
  13. All work shall be completed in accordance with the approved plans and specifications.
  14. The contractor shall be responsible for obtaining all necessary permits.
  15. All materials and workmanship shall be in accordance with the approved plans and specifications.
  16. The contractor shall be responsible for protecting all existing utilities.
  17. All work shall be completed within the specified time frame.
  18. The contractor shall be responsible for maintaining access to all adjacent properties.
  19. All work shall be completed in accordance with the approved plans and specifications.
  20. The contractor shall be responsible for obtaining all necessary permits.

- REVISIONS**
- | NO. | DATE     | DESCRIPTION                     |
|-----|----------|---------------------------------|
| 1   | 11/15/20 | ISSUE FOR PERMITTING            |
| 2   | 12/10/20 | REVISED PERMITTING REQUIREMENTS |
| 3   | 01/15/21 | REVISED PERMITTING REQUIREMENTS |
| 4   | 02/10/21 | REVISED PERMITTING REQUIREMENTS |
| 5   | 03/10/21 | REVISED PERMITTING REQUIREMENTS |
| 6   | 04/10/21 | REVISED PERMITTING REQUIREMENTS |
| 7   | 05/10/21 | REVISED PERMITTING REQUIREMENTS |
| 8   | 06/10/21 | REVISED PERMITTING REQUIREMENTS |
| 9   | 07/10/21 | REVISED PERMITTING REQUIREMENTS |
| 10  | 08/10/21 | REVISED PERMITTING REQUIREMENTS |
| 11  | 09/10/21 | REVISED PERMITTING REQUIREMENTS |
| 12  | 10/10/21 | REVISED PERMITTING REQUIREMENTS |
| 13  | 11/10/21 | REVISED PERMITTING REQUIREMENTS |
| 14  | 12/10/21 | REVISED PERMITTING REQUIREMENTS |
| 15  | 01/10/22 | REVISED PERMITTING REQUIREMENTS |
| 16  | 02/10/22 | REVISED PERMITTING REQUIREMENTS |
| 17  | 03/10/22 | REVISED PERMITTING REQUIREMENTS |
| 18  | 04/10/22 | REVISED PERMITTING REQUIREMENTS |
| 19  | 05/10/22 | REVISED PERMITTING REQUIREMENTS |
| 20  | 06/10/22 | REVISED PERMITTING REQUIREMENTS |

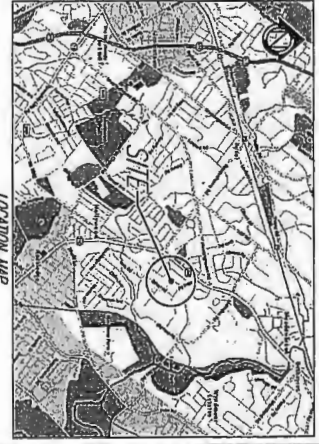
**PROJECT LOCATION**

1133 LEBEL ROAD  
 LEHIGH VALLEY, PA 18103

**CLIENT**  
 STEVEN J. ROMICH  
 1133 LEBEL ROAD  
 LEHIGH VALLEY, PA 18103

**DESIGNER**  
 CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC.  
 215 WEST MAIN STREET, SUITE 200, LANCASTER, PA 17602  
 PH: 717-397-1100 FAX: 717-397-1101  
 WWW.CORNERSTONE-PA.COM

**DATE**  
 11/15/20



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/15/20	ISSUE FOR PERMITTING
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15	01/10/22	REVISED PERMITTING REQUIREMENTS
16	02/10/22	REVISED PERMITTING REQUIREMENTS
17	03/10/22	REVISED PERMITTING REQUIREMENTS
18	04/10/22	REVISED PERMITTING REQUIREMENTS
19	05/10/22	REVISED PERMITTING REQUIREMENTS
20	06/10/22	REVISED PERMITTING REQUIREMENTS

# Cornerstone

Consulting Engineers & Architectural, Inc.

215 West Main Street, Lancaster, PA 17602  
 Phone 717-397-1100 Fax 717-397-1101  
 www.cornerstone-pa.com

Philadelphia Region 215-363-2602      Lehigh Valley Region 610-820-8200      Pocono Region 717-439-1170

**PROJECT LOCATION**

1133 LEBEL ROAD  
 LEHIGH VALLEY, PA 18103

**CLIENT**  
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 LEHIGH VALLEY, PA 18103

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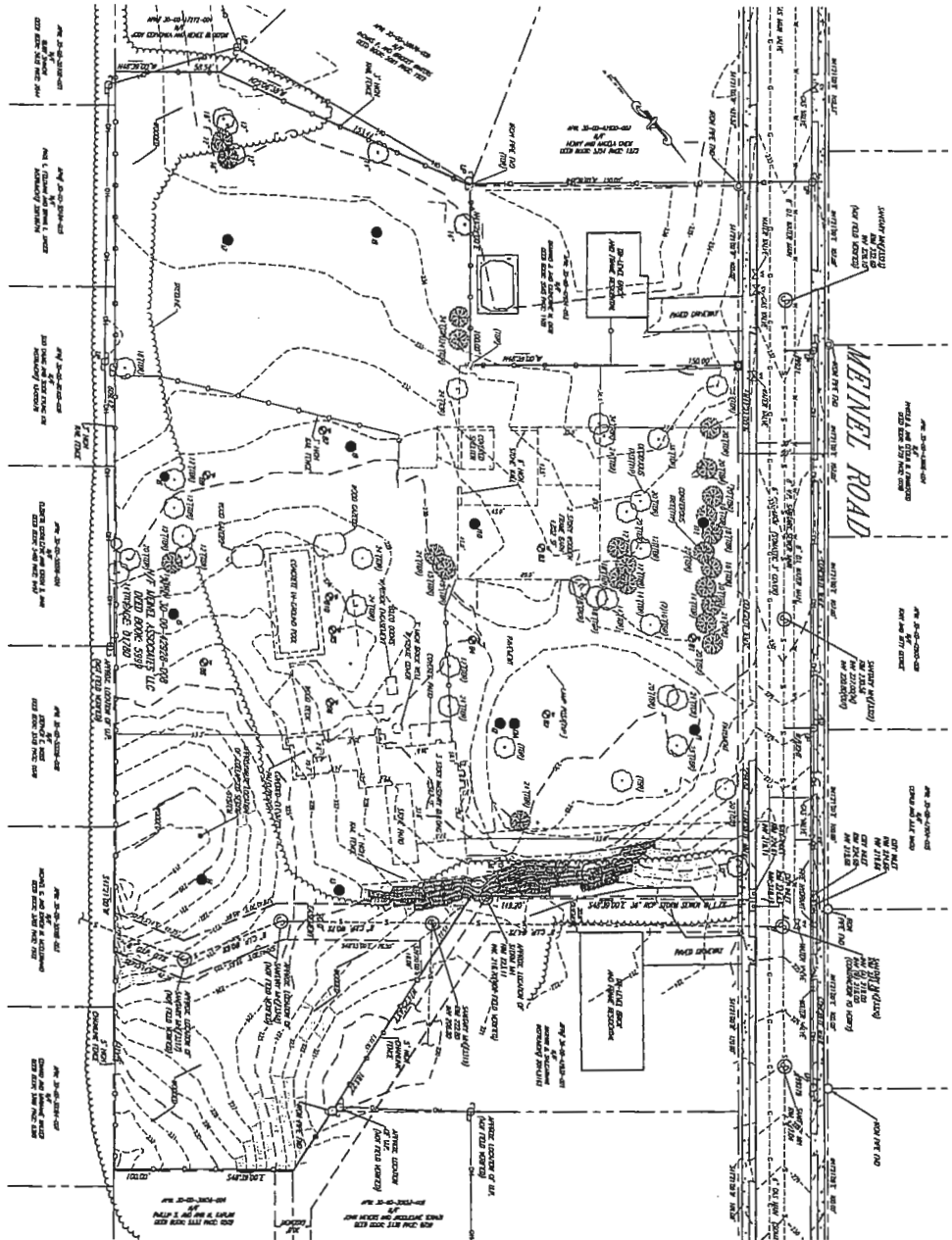
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 11/15/20

# Cornerstone

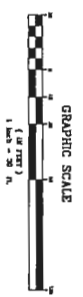
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Philadelphia Region 215-363-2602      Lehigh Valley Region 610-820-8200      Pocono Region 717-439-1170



**WEINEL ROAD**



SYMBOL	DESCRIPTION
(Symbol: Dashed line with dots)	CONTRACT BOUNDARY
(Symbol: Solid line with dots)	CONTRACT BOUNDARY
(Symbol: Dashed line)	PROPERTY BOUNDARY
(Symbol: Solid line)	PROPERTY BOUNDARY
(Symbol: Circle with cross)	CONTRACT BOUNDARY
(Symbol: Square with cross)	CONTRACT BOUNDARY
(Symbol: Triangle with cross)	CONTRACT BOUNDARY
(Symbol: Circle with dot)	CONTRACT BOUNDARY
(Symbol: Square with dot)	CONTRACT BOUNDARY
(Symbol: Triangle with dot)	CONTRACT BOUNDARY
(Symbol: Circle with dash)	CONTRACT BOUNDARY
(Symbol: Square with dash)	CONTRACT BOUNDARY
(Symbol: Triangle with dash)	CONTRACT BOUNDARY
(Symbol: Circle with plus)	CONTRACT BOUNDARY
(Symbol: Square with plus)	CONTRACT BOUNDARY
(Symbol: Triangle with plus)	CONTRACT BOUNDARY

**LEGEND & ASSUMPTIONS**

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

2. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED.

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9. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED.

10. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED.

- INDEX**
1. PROPERTY OWNER OF THE LAND SHOWN ON THIS PLAN IS...
  2. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED...
  3. ALL DIMENSIONS ARE TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED...
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NO.	BY	DESCRIPTION	DATE
1	J.B. ANDERSON	REVISED FOR PERMITS	01/15/2017
2	J.B. ANDERSON	REVISED FOR PERMITS	02/10/2017
3	J.B. ANDERSON	REVISED FOR PERMITS	03/05/2017

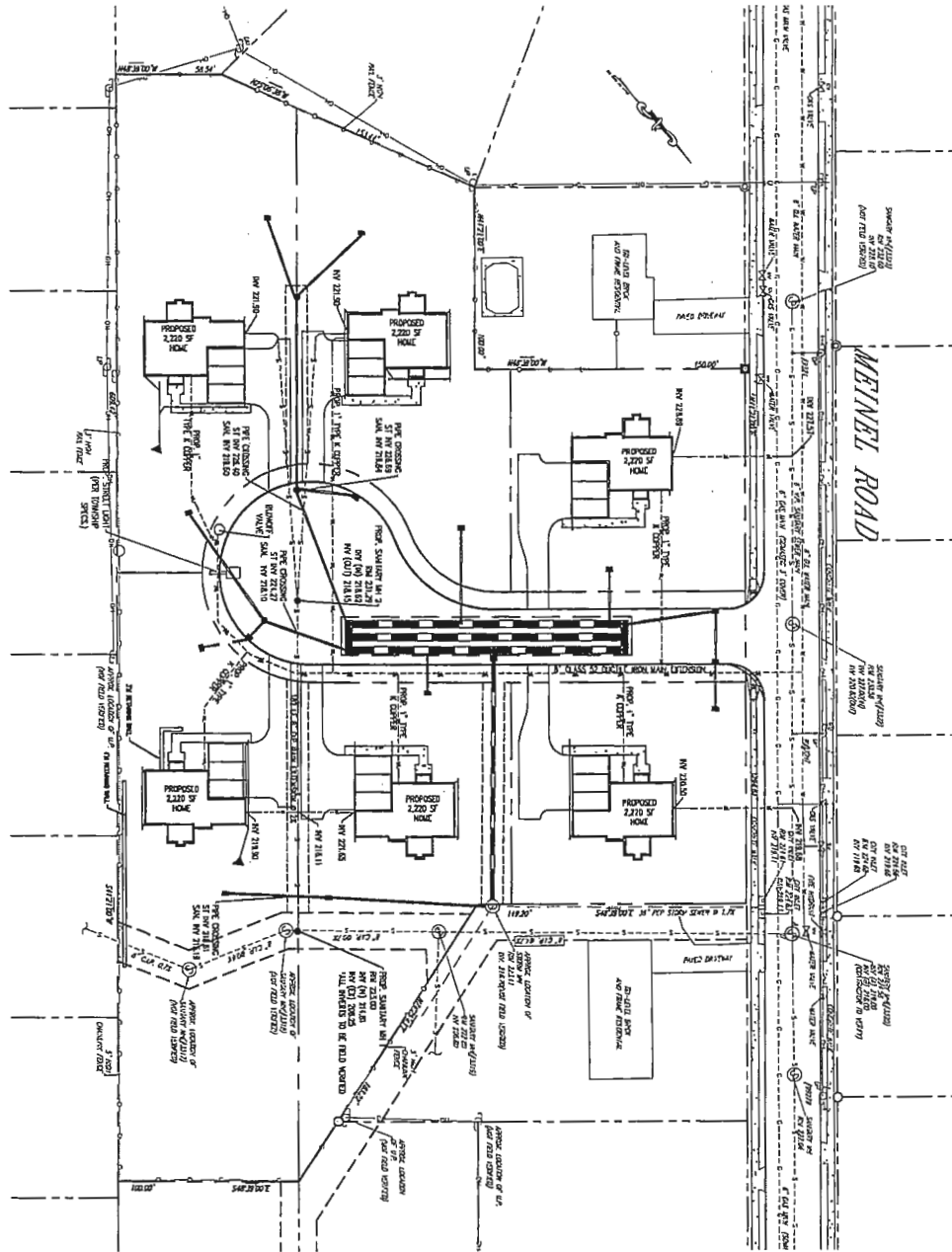
**J.B. ANDERSON**  
 PROJECT LOCATION  
 1511 HARBOR ROAD  
 ANNE ARBOR, MI 48106

**Cornerstone**  
 Consulting Engineers & Architectural, Inc.  
 211 West Main Street, Landonville, IA 19446  
 Phone: 215-342-2000, Fax: 215-342-8400  
 Philadelphia Region: 215-652-2602, Lethig Valley Region: 610-825-8200, Pocono Region: 215-471-1770

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1	J.B. ANDERSON	REVISED FOR PERMITS	01/15/2017
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3	J.B. ANDERSON	REVISED FOR PERMITS	03/05/2017

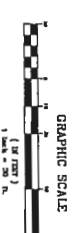
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1	J.B. ANDERSON	REVISED FOR PERMITS	01/15/2017
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 Philadelphia Region: 215-652-2602, Lethig Valley Region: 610-825-8200, Pocono Region: 215-471-1770



MEINEL ROAD

- UTILITY NOTES**
1. EXISTING UTILITIES SHOWN ARE AS OF DATE OF RECORD DRAWING. FIELD SURVEYORS SHOULD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
  2. ALL UTILITIES SHALL BE DEEPER THAN THE FOUNDATION OF ANY STRUCTURE.
  3. ALL UTILITIES SHALL BE 1' VERTICAL CLEARANCE ABOVE THE TOP OF FOUNDATION.
  4. UTILITIES AND SERVICE LINES SHALL BE INSTALLED IN 1" VERTICAL CLEARANCE ABOVE THE TOP OF FOUNDATION.
  5. UTILITIES AND SERVICE LINES SHALL BE INSTALLED IN 1" VERTICAL CLEARANCE ABOVE THE TOP OF FOUNDATION.
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  10. UTILITIES AND SERVICE LINES SHALL BE INSTALLED IN 1" VERTICAL CLEARANCE ABOVE THE TOP OF FOUNDATION.
- STANDARD NOTES**
1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE APPROPRIATE CODES.
  2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE APPROPRIATE CODES.
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- LEGEND**
- PROPERTY BOUNDARY
  - EXISTING UTILITY
  - PROPOSED UTILITY
  - EXISTING ROAD
  - PROPOSED ROAD
  - EXISTING DRIVE
  - PROPOSED DRIVE
  - EXISTING SIDEWALK
  - PROPOSED SIDEWALK
  - EXISTING CURB
  - PROPOSED CURB
  - EXISTING LOT
  - PROPOSED LOT
  - EXISTING DRIVE
  - PROPOSED DRIVE
  - EXISTING SIDEWALK
  - PROPOSED SIDEWALK
  - EXISTING CURB
  - PROPOSED CURB
  - EXISTING LOT
  - PROPOSED LOT

**Cornerstone Consulting Engineers & Architectural, Inc.**  
 213 West Main Street, Landale, PA 19446  
 Phone 215-362-3600, Fax 215-362-8400  
 Philadelphia Region 610-420-8200, Lehigh Valley Region 610-420-8200, Pocono Region 717-420-8200

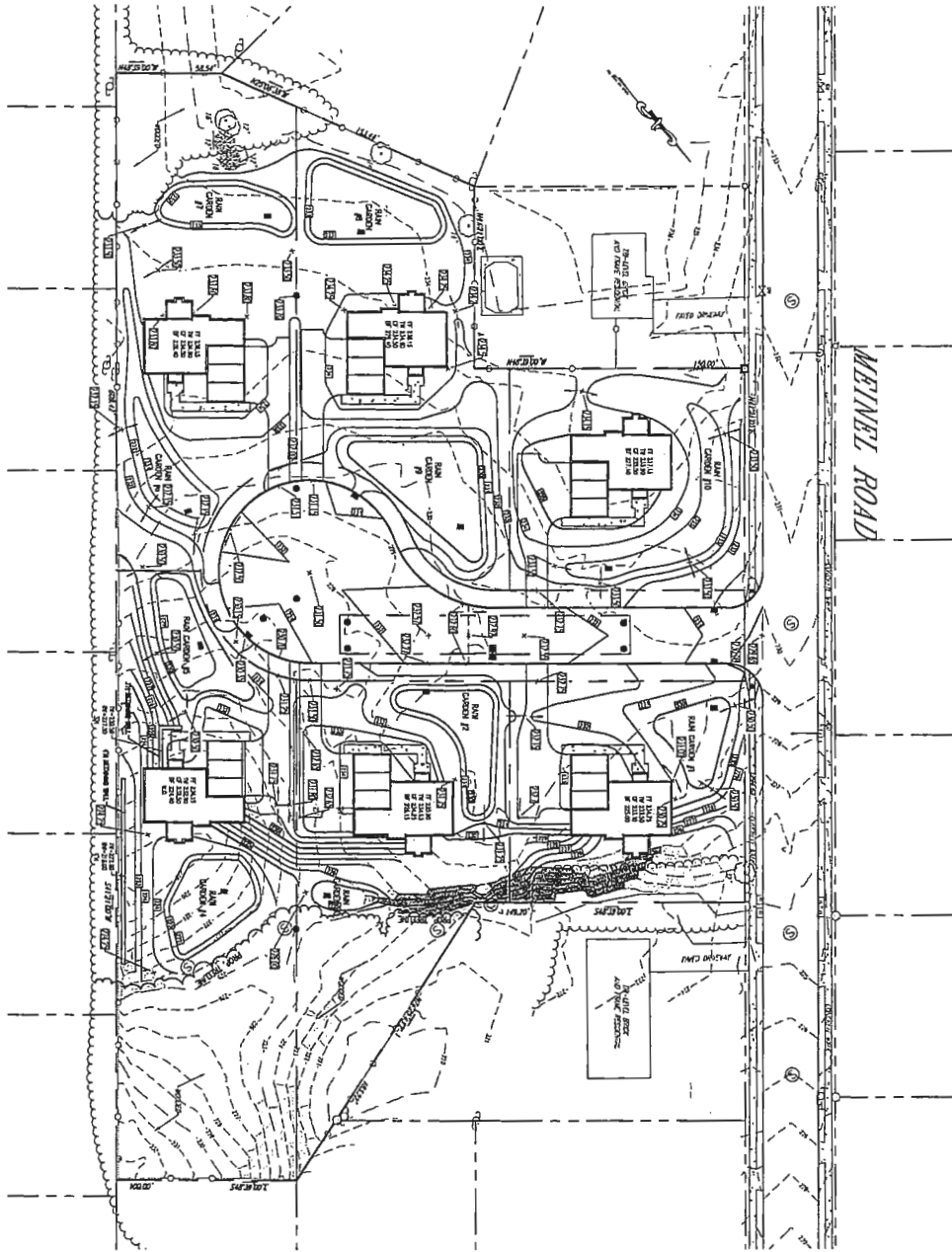
NO.	DATE	REVISIONS
1	08/15/08	FINAL DESIGN
2	08/20/08	REVISED PER COMMENTS
3	09/01/08	REVISED PER COMMENTS

**J.B. ANDERSON**  
 PROJECT MANAGER  
 1131 MEINEL ROAD  
 PHILADELPHIA, PA 19146  
 PHILADELPHIA, PA 19146

**UTILITY PLAN**

**TITLE**

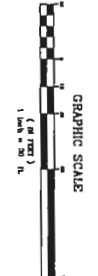
**SHEET 3 OF 11**



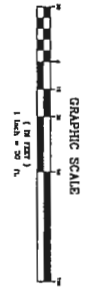
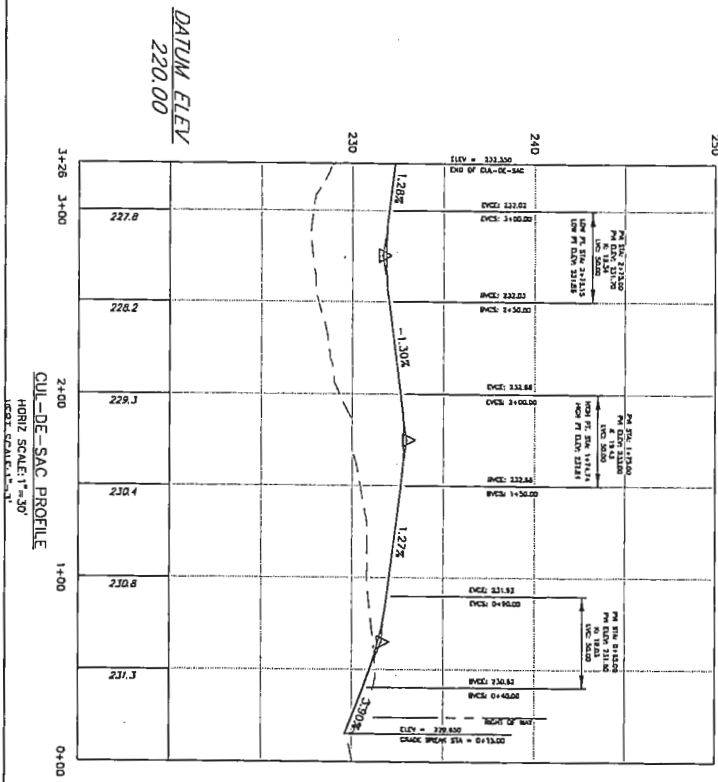
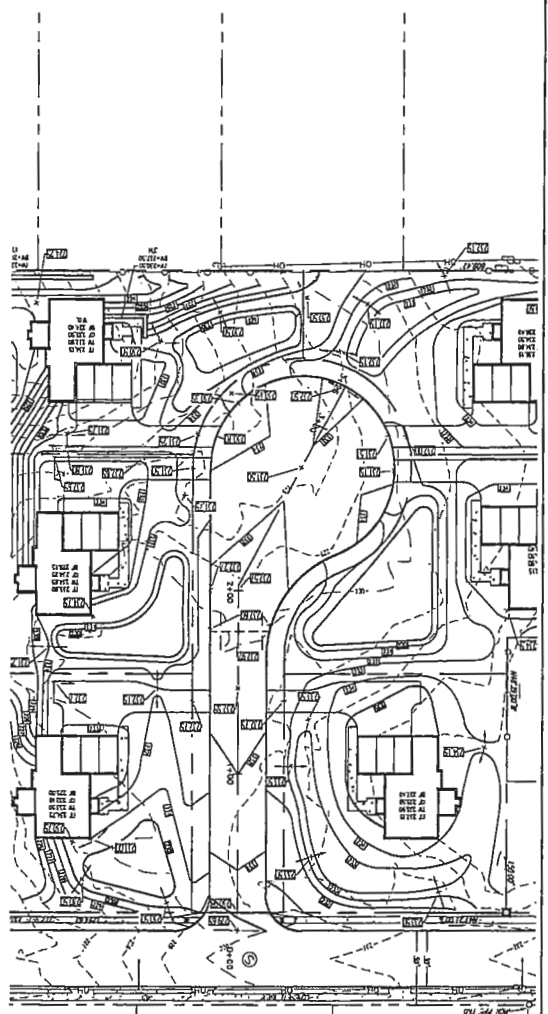
MEINEL ROAD

**LEGEND**

1. ALL EXISTING UTILITIES ARE SHOWN AS THEY EXIST AND ARE NOT TO BE DELETED UNLESS SPECIFICALLY NOTED OTHERWISE.
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20. ALL EXISTING UTILITIES ARE SHOWN AS THEY EXIST AND ARE NOT TO BE DELETED UNLESS SPECIFICALLY NOTED OTHERWISE.



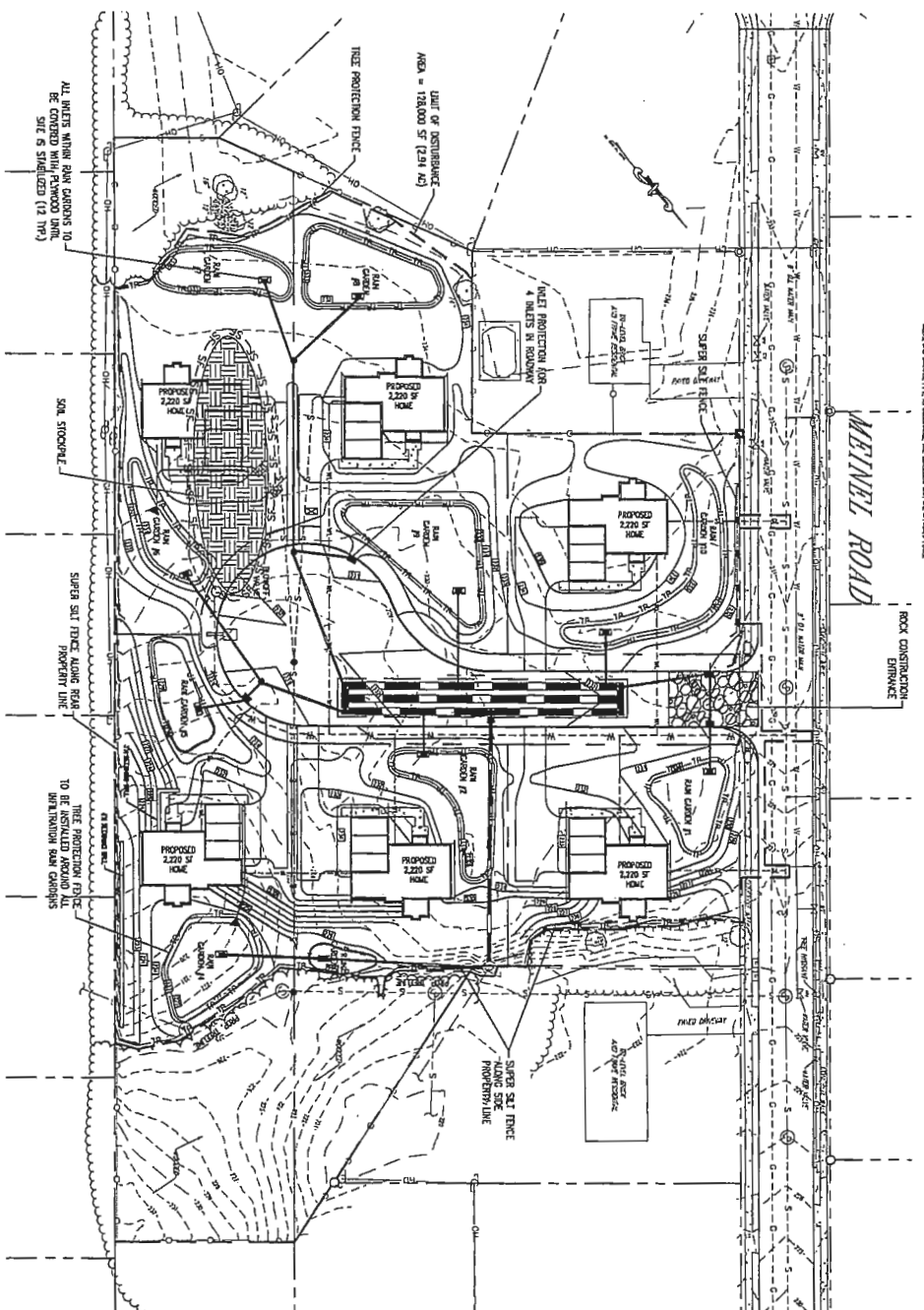
<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>LC</td> <td>REVISED PER COMMENTS</td> <td>10/20/11</td> </tr> <tr> <td>2</td> <td>LC</td> <td>REVISED PER COMMENTS</td> <td>10/20/11</td> </tr> <tr> <td>3</td> <td>LC</td> <td>REVISED PER COMMENTS</td> <td>10/20/11</td> </tr> </tbody> </table>		NO.	BY	DESCRIPTION	DATE	1	LC	REVISED PER COMMENTS	10/20/11	2	LC	REVISED PER COMMENTS	10/20/11	3	LC	REVISED PER COMMENTS	10/20/11	<p><b>Cornerstone</b> Consulting Engineers &amp; Architectural, Inc.</p> <p>213 West Main Street, Lansdale, PA 19384 Phone: 215-362-8600, Fax: 215-362-8400 www.cornerstonearchitect.com</p> <p>Philadelphia Region: 215-362-2600 Lehigh Valley Region: 610-420-4200 Poccono Region: 215-439-1170</p>
NO.	BY	DESCRIPTION	DATE															
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2	LC	REVISED PER COMMENTS	10/20/11															
3	LC	REVISED PER COMMENTS	10/20/11															
<p><b>PROJECT LOCATION</b></p> <p>118 ANDERSON</p> <p>118 ANDERSON DRIVE LANSDALE, PA 19384</p>																		
<p><b>PROJECT INFORMATION</b></p> <p>118 ANDERSON DRIVE LANSDALE, PA 19384</p>																		
<p><b>CLIENT INFORMATION</b></p> <p>118 ANDERSON DRIVE LANSDALE, PA 19384</p>																		
<p><b>DESIGNER INFORMATION</b></p> <p>118 ANDERSON DRIVE LANSDALE, PA 19384</p>																		



<p><b>J.B. ANDERSON</b> ARCHITECT</p> <p>1111 MARKET STREET PHILADELPHIA, PA 19107 TEL: 215-561-2600 FAX: 215-561-2609 WWW.ANDERSONARCHITECT.COM</p>	<p><b>PROJECT LOCATION</b></p> <p>MEINEL ROAD PHILADELPHIA, PA</p>	<p><b>CLIENT</b></p> <p>MEINEL ASSOCIATES, LLC</p>	<p><b>REVISIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>LAC</td> <td>ISSUED FOR PERMITS</td> <td>01/20/11</td> </tr> <tr> <td>2</td> <td>LAC</td> <td>REVISED PER PERMITS</td> <td>01/20/11</td> </tr> </tbody> </table>	NO.	BY	DESCRIPTION	DATE	1	LAC	ISSUED FOR PERMITS	01/20/11	2	LAC	REVISED PER PERMITS	01/20/11	<p style="text-align: center;"><b>Cornerstone</b> Consulting Engineers &amp; Architectural, Inc.</p> <p>213 West Main Street, Lansdale, PA 19386 Phone: 215-361-2600, Fax: 215-362-8400 WWW.CORNERSTONEPA.COM</p> <p>Philadelphia Region: 215-361-2600 Lehigh Valley Region: 610-250-8200 Pocono Region: 717-838-1770</p>
NO.	BY	DESCRIPTION	DATE													
1	LAC	ISSUED FOR PERMITS	01/20/11													
2	LAC	REVISED PER PERMITS	01/20/11													







### SEQUENCE OF CONSTRUCTION

1. Excavate foundation areas for all homes.

2. Lay out, pour, and finish concrete foundation walls for all homes.

3. Construct wall, floor, and roof for all homes.

4. Complete roof, floor, and wall for all homes.

5. Complete interior finish for all homes.

6. Complete exterior finish for all homes.

7. Complete landscaping for all homes.

8. Complete site grading for all homes.

9. Complete site paving for all homes.

10. Complete site lighting for all homes.

11. Complete site fencing for all homes.

12. Complete site utility connections for all homes.

13. Complete site final inspection for all homes.

14. Complete site final cleanup for all homes.

### SEQUENCE OF CONSTRUCTION CONTINUED

1. Excavate foundation areas for all homes.

2. Lay out, pour, and finish concrete foundation walls for all homes.

3. Construct wall, floor, and roof for all homes.

4. Complete roof, floor, and wall for all homes.

5. Complete interior finish for all homes.

6. Complete exterior finish for all homes.

7. Complete landscaping for all homes.

8. Complete site grading for all homes.

9. Complete site paving for all homes.

10. Complete site lighting for all homes.

11. Complete site fencing for all homes.

12. Complete site utility connections for all homes.

13. Complete site final inspection for all homes.

14. Complete site final cleanup for all homes.

### RAIN CATCHER BASIN CONSTRUCTION SEQUENCE

1. Excavate basin area.

2. Lay out and pour concrete basin walls.

3. Construct basin floor.

4. Complete basin interior finish.

5. Complete basin exterior finish.

6. Complete basin landscaping.

7. Complete basin site grading.

8. Complete basin site paving.

9. Complete basin site lighting.

10. Complete basin site fencing.

11. Complete basin site utility connections.

12. Complete basin site final inspection.

13. Complete basin site final cleanup.

### EAS CONTROL PLAN DESIGN NOTES

1. SEE PLAN FOR THE LOCATION OF ALL UTILITIES AND EAS.

2. SEE PLAN FOR THE LOCATION OF ALL PERMITS AND EAS.

3. SEE PLAN FOR THE LOCATION OF ALL PERMITS AND EAS.

4. SEE PLAN FOR THE LOCATION OF ALL PERMITS AND EAS.

5. SEE PLAN FOR THE LOCATION OF ALL PERMITS AND EAS.

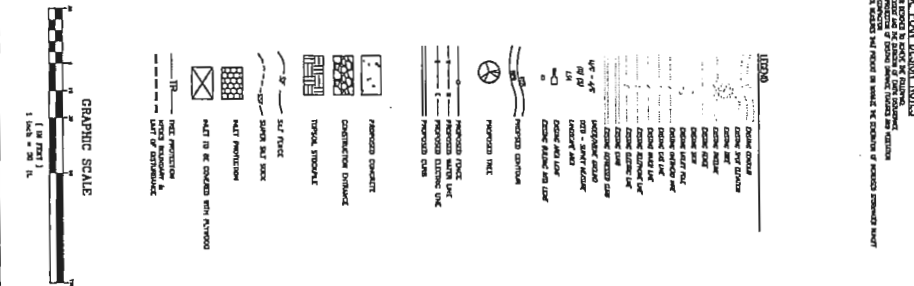
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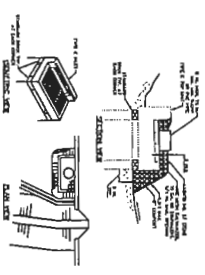
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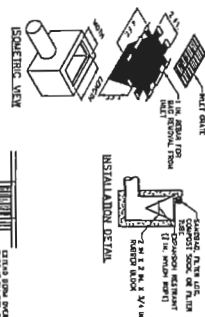
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3	11/11/11	REVISED PER COMMENTS FROM CLIENT	JBA	JBA

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211 West Main Street, Lancaster, PA 17406  
Philadelphia Region 317-532-3600, Lehigh Valley Region 610-331-4220, Pocono Region 570-839-1770

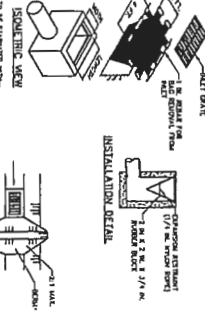




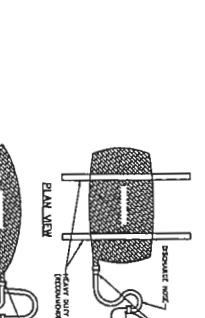
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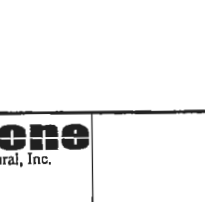
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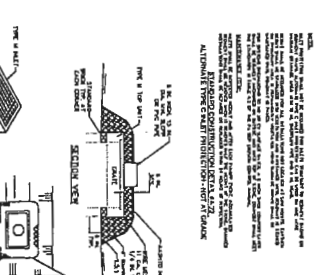
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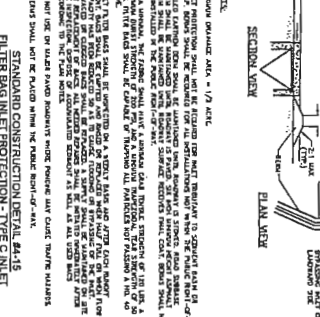
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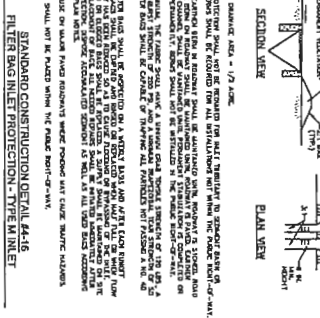
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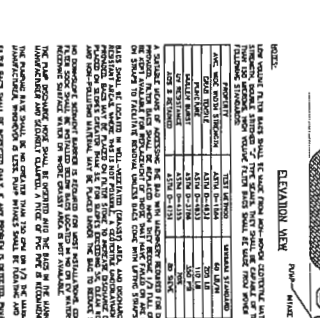
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ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-20  
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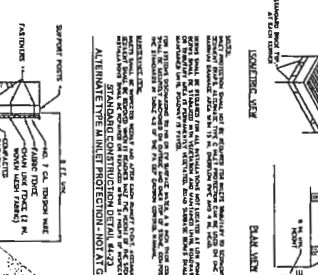
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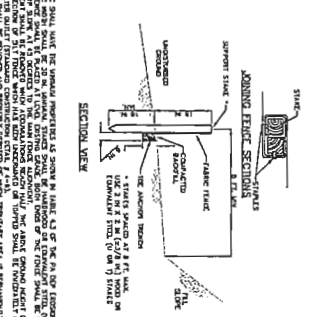
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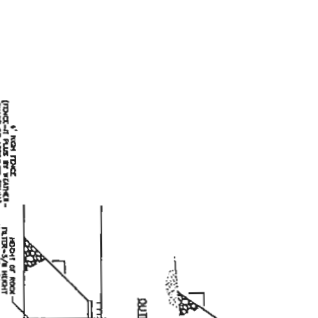
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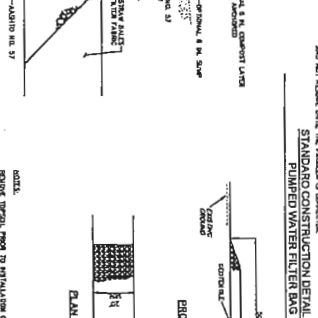
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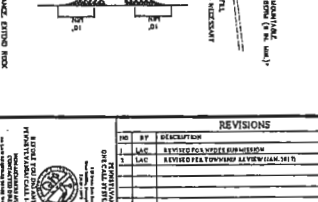
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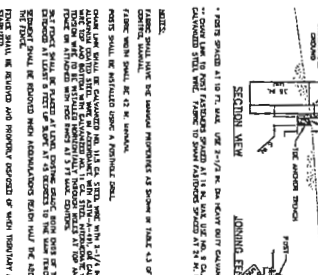
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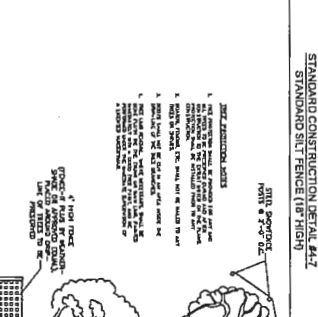
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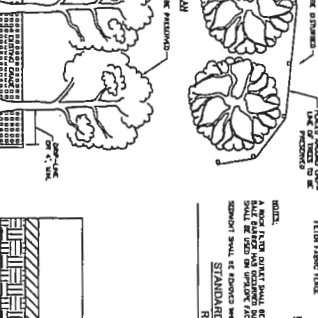
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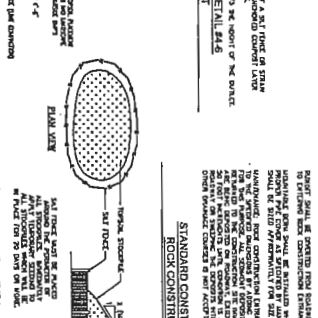
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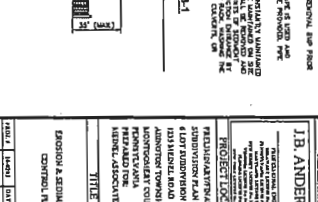
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ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-31  
ROCK CONSTRUCTION ENTRANCE



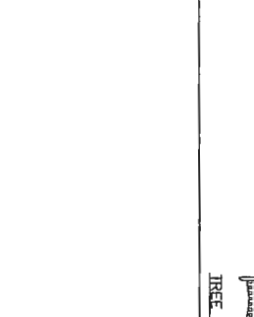
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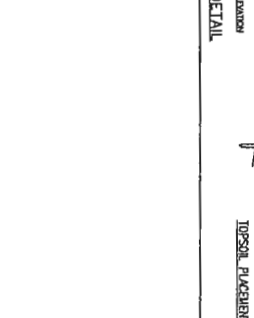
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ROCK CONSTRUCTION ENTRANCE



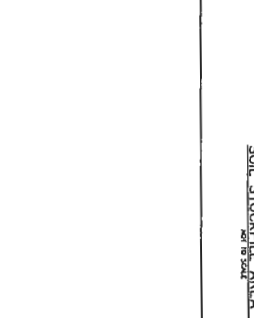
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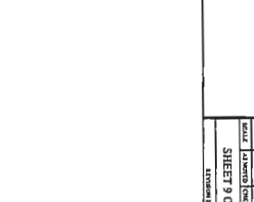
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ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-36  
ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-37  
ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-38  
ROCK CONSTRUCTION ENTRANCE

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Consulting Engineers & Architectural, Inc.

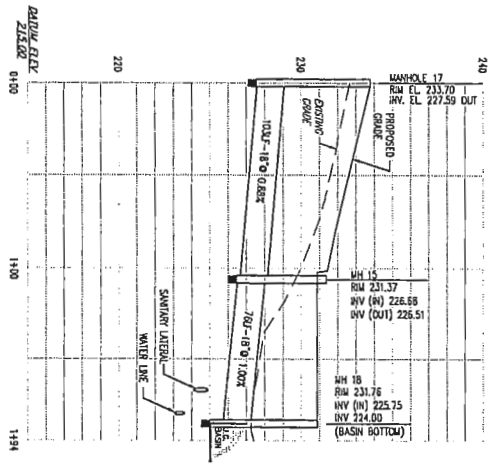
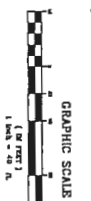
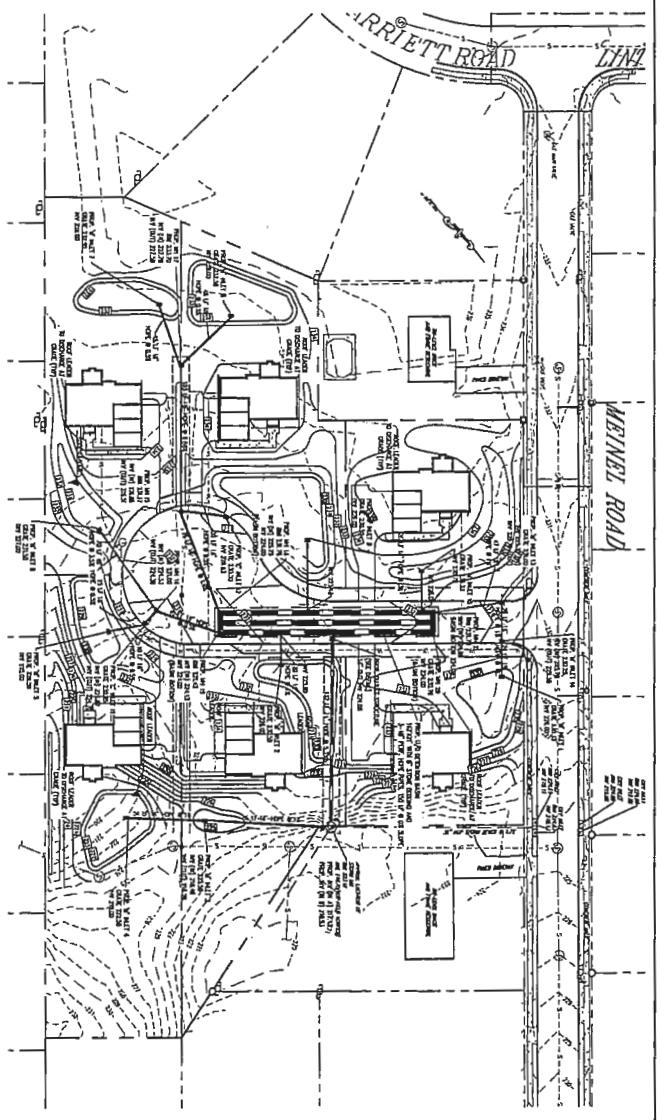
213 West Main Street, Lancaster, PA 17446  
Phone: 717-252-3600, Fax: 717-252-8400  
www.cornerstoneinc.com

Philadelphia Region: 215-561-2000  
Lehigh Valley Region: 610-820-1330  
Poccono Region: 717-839-1770

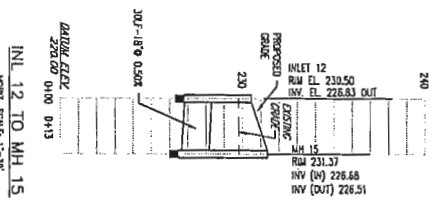
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9	JBA	REVISED FOR PUMPED WATER FILTER BAG	11/15/07
10	JBA	REVISED FOR PUMPED WATER FILTER BAG	11/15/07

**J.B. ANDERSON**  
PROJECT LOCATION: [REDACTED]  
PROJECT NUMBER: [REDACTED]  
DATE: [REDACTED]  
SHEET 9 OF 17

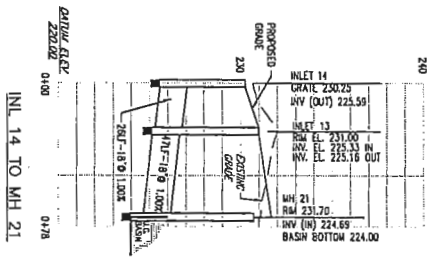
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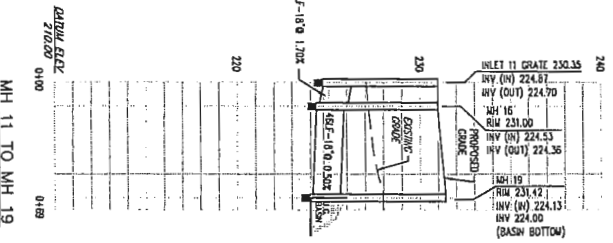
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VERT. SCALE 1"=3'



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IN 14 TO MH 21  
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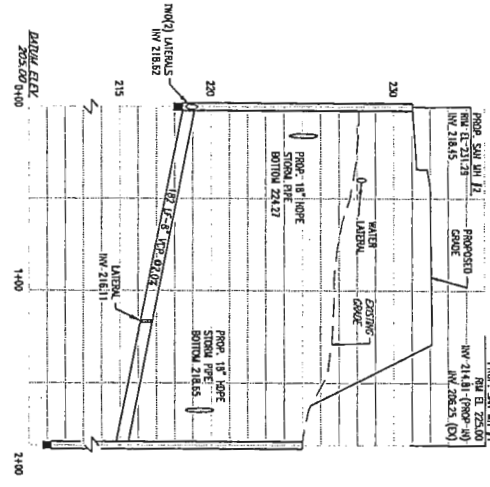
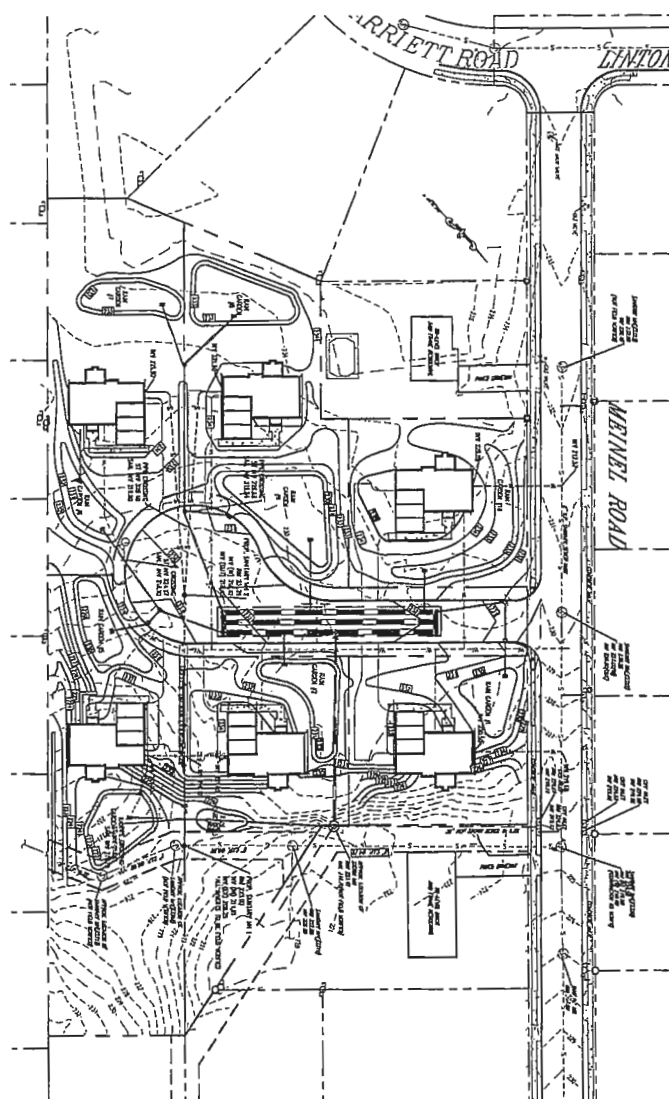
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1	LAC	REVISED FOR APPROVAL	11/23/2011
2	LAC	REVISED FOR TOWNSHIP REVIEW	04/20/11

**J.B. ANDERSON**  
 PROJECT LOCATION:  
 PROJECT NO. 11-000000-0000  
 PROJECT NAME: 1111 HENRIEL ROAD  
 PROJECT OWNER: 1111 HENRIEL ROAD  
 PROJECT ADDRESS: 1111 HENRIEL ROAD  
 PROJECT CITY: 1111 HENRIEL ROAD  
 PROJECT STATE: 1111 HENRIEL ROAD  
 PROJECT ZIP: 1111 HENRIEL ROAD  
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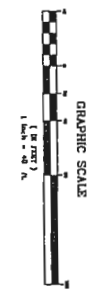
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2	04/20/11	REVISED FOR TOWNSHIP REVIEW

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Philadelphia Region: 215-362-2600  
 Lehigh Valley Region: 610-826-8200  
 Pocono Region: 370-837-1770

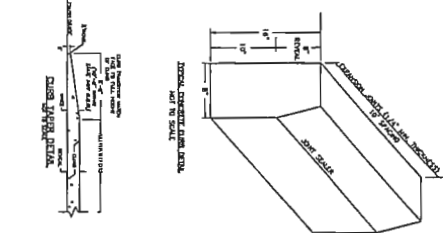
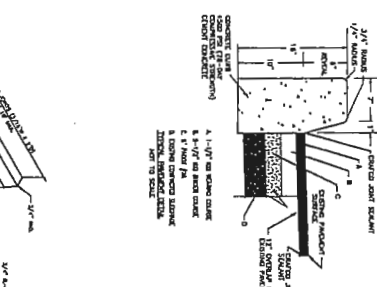
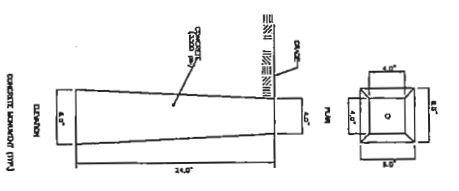


SANITARY MH2 TO SANITARY MH1  
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 VERT. SCALE 1"=5'



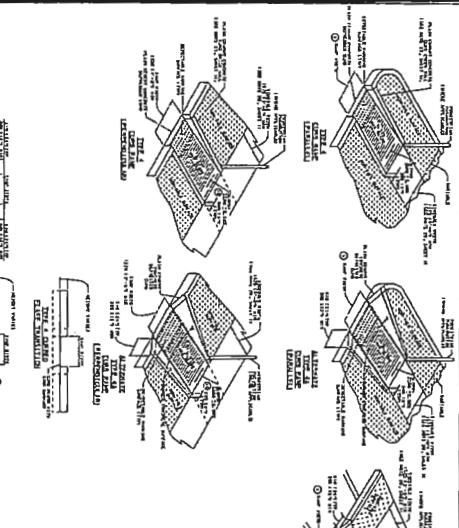
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NO.	BY	DESCRIPTION	DATE											
1	SAC	REVISED PER PERMITS	10/20/11											
2	SAC	REVISED PER COMPANY REVIEW	11/01/11											

CLIP DATA



NOTE: OTHER DETAILS OF ALL ITEMS SHOWN HEREIN SHALL BE AS SHOWN ON THE SHEET(S) REFERRED TO IN THE NOTES.

CONSTRUCTION OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
CONTRACT NO. 70-3-370  
ITEM NO. 501  
ALTERNATION NO. 1  
REVISED 05/08/97



**CONCRETE CURB DETAIL**

1. CONCRETE CURB SHALL BE 4 INCHES DEEP TO 30 INCHES WIDE.

2. CONCRETE CURB SHALL BE 1 1/2 INCHES HIGH AT CURB FACE.

3. CONCRETE CURB SHALL BE 1 1/2 INCHES HIGH AT CURB FACE.

4. CONCRETE CURB SHALL BE 1 1/2 INCHES HIGH AT CURB FACE.

5. CONCRETE CURB SHALL BE 1 1/2 INCHES HIGH AT CURB FACE.

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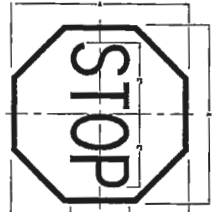
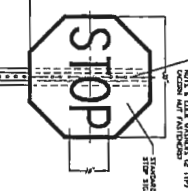
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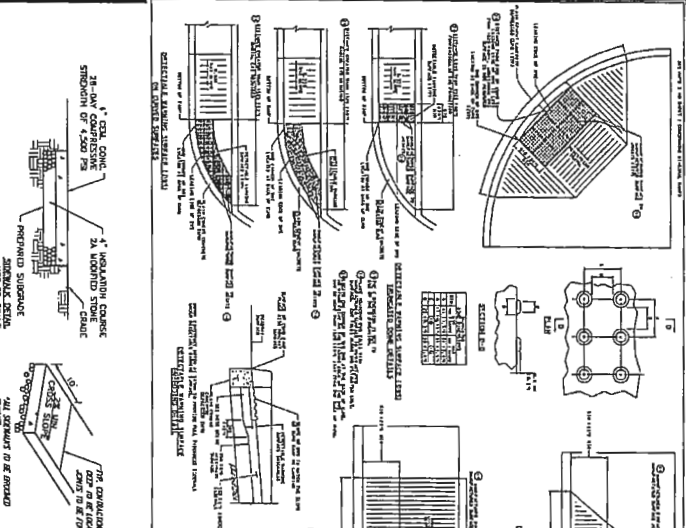
NOTE: OTHER DETAILS OF ALL ITEMS SHOWN HEREIN SHALL BE AS SHOWN ON THE SHEET(S) REFERRED TO IN THE NOTES.

CONSTRUCTION OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
CONTRACT NO. 70-3-370  
ITEM NO. 501  
ALTERNATION NO. 1  
REVISED 05/08/97



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**Cornerstone** Consulting Engineers & Architectural, Inc.

215 West Main Street, Lancaster, PA 17406  
 Phone 315-693-2600, Fax 315-361-8400  
 www.cornerstonepa.com

Philadelphia Region: 315-363-2600  
 Lehigh Valley Region: 610-820-8500  
 Potomac Region: 301-431-1700

REVISIONS		
NO.	BY	DESCRIPTION

**PROJECT LOCATION**

FREDERICKSBURG, VA

CONSTRUCTION OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
CONTRACT NO. 70-3-370  
ITEM NO. 501  
ALTERNATION NO. 1

**CLIENT**

PENNSYLVANIA DEPARTMENT OF TRANSPORTATION  
CONSTRUCTION DIVISION

200 MCKEAN BLVD., HARRISBURG, PA 17104  
TEL. 717/787-4343 FAX 717/787-4342

**DESIGNER**

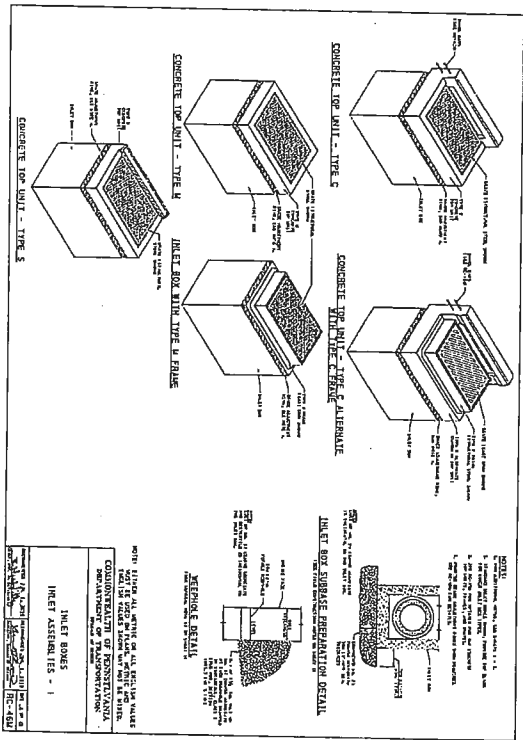
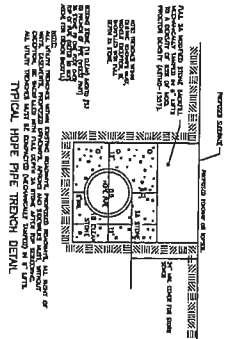
**J.B. ANDERSON**

PROJECT MANAGER

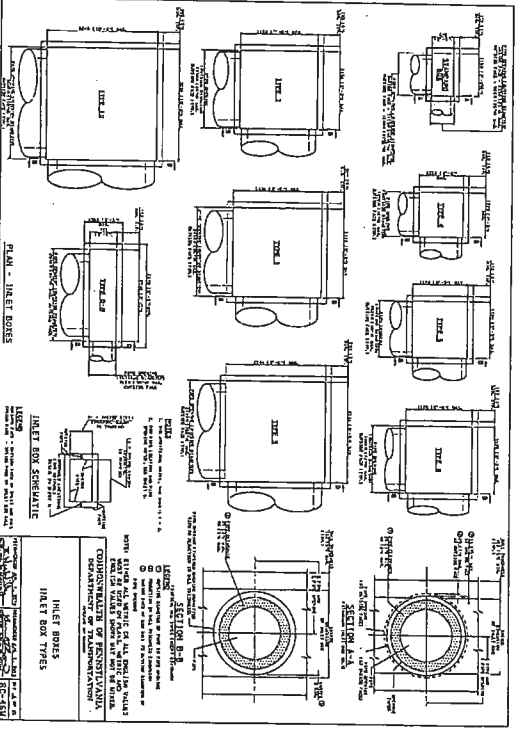
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12/05/97

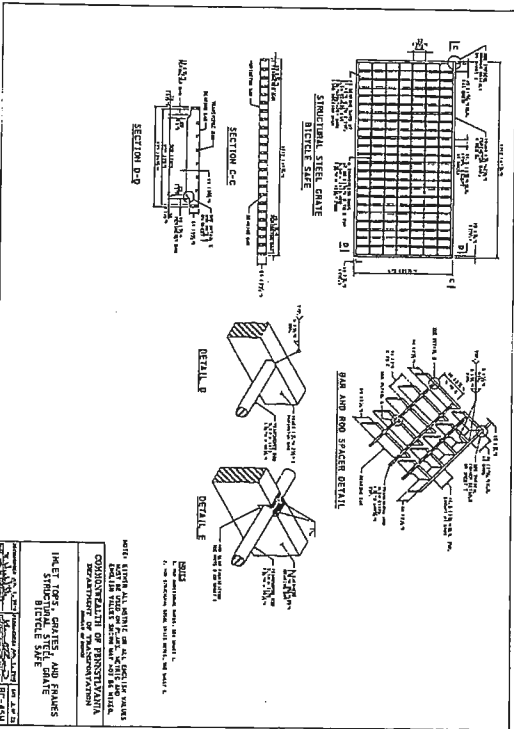
SHEET 12 OF 17



NOTE: 1. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.  
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\*FOR ADDITIONAL DETAILS AND NOTES REFER TO PERMIT PLAN  
 72K, DETAILS RC-45M AND RC-46M SERIES, LATEST EDITION.

NO.	BY	DATE	REVISIONS
1	JAS	11/15/16	ISSUED FOR PERMIT
2	JAS	11/15/16	REVISED FOR PERMIT
3	JAS	11/15/16	REVISED FOR PERMIT

**J.B. ANDERSON**  
 CONSULTING ENGINEERS & ARCHITECTURAL, INC.  
 113 WEST MAIN STREET, LANSDALE, PA 19446  
 PHONE 215-362-2600, FAX 215-362-8400  
 WWW.CORNERSTONE-PA.COM

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 Lehigh Valley Region 610-838-8000  
 Pocono Region 370-431-1770

# Cornerstone

Consulting Engineers & Architectural, Inc.

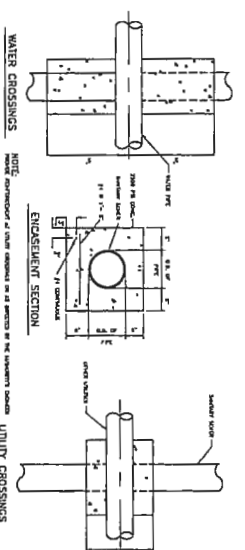
## REVISIONS

NO.	BY	DATE	DESCRIPTION
1	LAC	10/15/11	ISSUED
2	LAC	10/15/11	REVISED FOR PERIODIC REVIEW
3	LAC	10/15/11	REVISED FOR PERIODIC REVIEW

**J.B. ANDERSON**  
 PROJECT LOCATION  
 PROJECT NO.  
 SHEET NO.  
 SHEET TOTAL

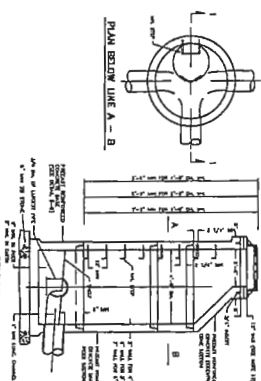
NO.	DATE	BY	REVISION
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2	10/15/11	LAC	REVISED FOR PERIODIC REVIEW
3	10/15/11	LAC	REVISED FOR PERIODIC REVIEW

FOR ADDITIONAL DETAILS AND NOTES REFER TO PERIODIC PUB. 729, DETAILS PG-356 SERIES, UNLESS NOTED.

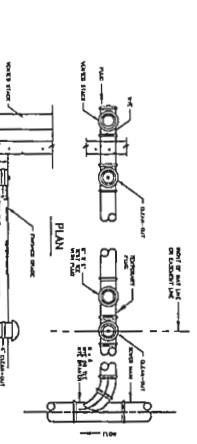


**WATER CROSSINGS**  
 NOTE: REFER TO PERIODIC PUB. 729, DETAILS PG-356 SERIES, UNLESS NOTED.  
**CONCRETE ENCASUREMENT**  
**UTILITY CROSSINGS**

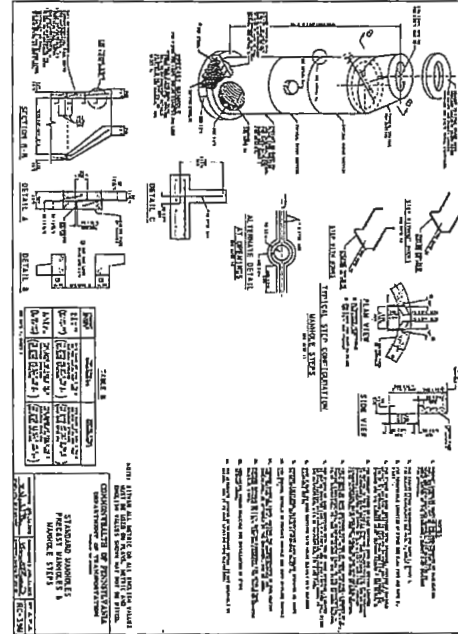
### VENT PIPE IN PAVING OR SIDEWALK DETAIL



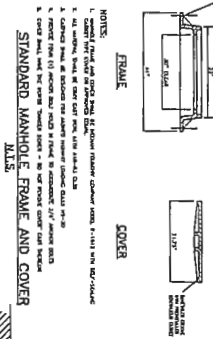
**PLAN BELOW LINE A-B**  
**SECTION 1-1**  
 NOTES:  
 1. THE CENTER OF THE VENT SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
 2. THE VENT SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
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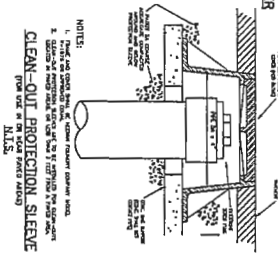
**SANITARY SEWER SERVICE CONNECTION**  
 NOTES:  
 1. THE SEWER SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
 2. THE SEWER SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
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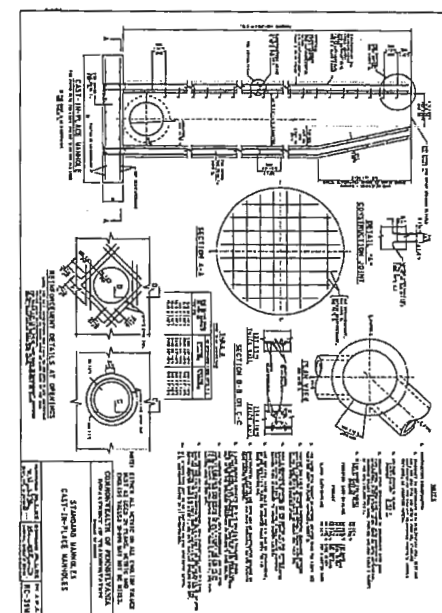
**CLEAN-OUT PROTECTION SLEEVE**  
 NOTES:  
 1. THE CLEAN-OUT SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
 2. THE CLEAN-OUT SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
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**STANDARD MANHOLE FRAME AND COVER**  
 NOTES:  
 1. THE FRAME SHALL BE AT LEAST 12" FROM THE FACE OF THE SIDEWALK OR PAVING.  
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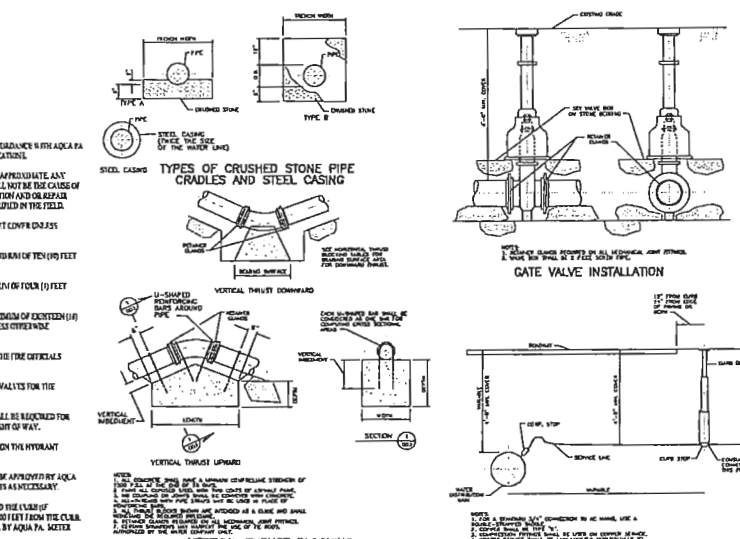
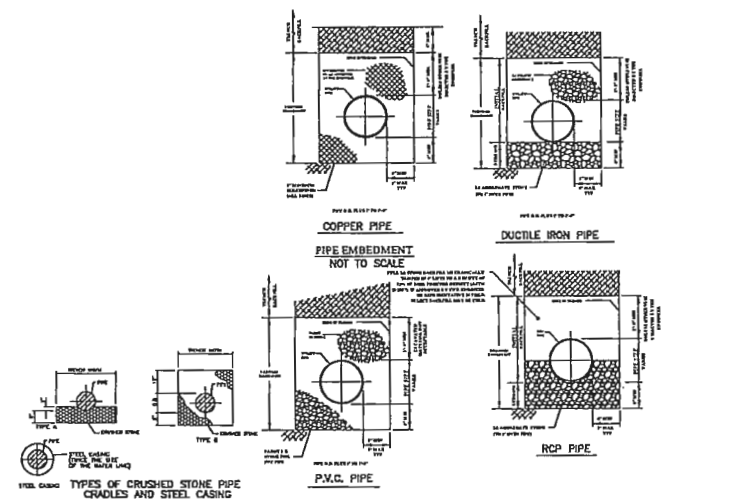
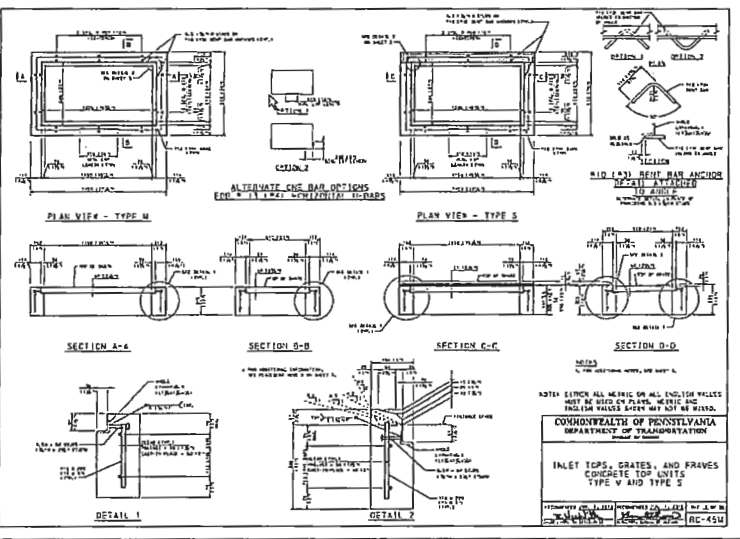
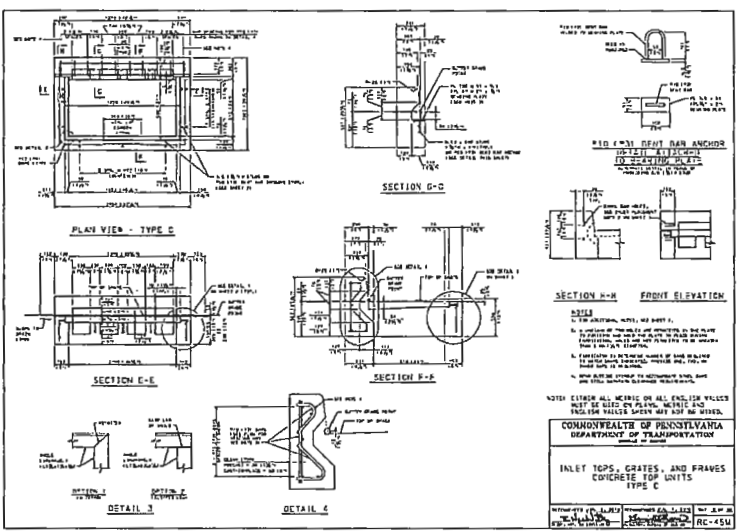


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\*FOR ADDITIONAL DETAILS AND NOTES REFER TO PENNDOT PUB. 72M, DETAILS RC-45M AND RC-46M SERIES, LATEST EDITION.



**WATER GENERAL NOTES:**

1. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AQA OR WATER FACILITIES LINE EXTENSION AGREEMENT SPECIFICATIONS.
2. LOCATION OF EXISTING WATER FACILITIES SHOWN ARE APPROXIMATE. ANY UTILITIES NOT SHOWN OR NOT LOCATED AS SHOWN, SHALL NOT BE THE CAUSE OF THE CONTRACTOR TO DO ANY RESPONSIBILITY FOR PROTECTION AND OR REPAIR DURING CONSTRUCTION. EXACT LOCATION SHALL BE VERIFIED IN THE FIELD.
3. ALL WATER MAINS REQUIRE A MINIMUM OF FOUR (4) FEET COVER UNLESS OTHERWISE APPROVED BY AQA.
4. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF TEN (10) FEET HORIZONTAL SEPARATION.
5. WATER AND STORM SEWER LINES SHALL HAVE A MINIMUM OF FOUR (4) FEET HORIZONTAL SEPARATION.
6. SANITARY AND STORM SEWER LINES SHALL HAVE A MINIMUM OF TWENTY (20) FEET HORIZONTAL SEPARATION FROM THE WATER LINE UNLESS OTHERWISE APPROVED BY AQA.
7. LOCATION IS SUBJECT TO THE APPROVAL OF THE FIRE OFFICIALS. CLEANING AND REVISIONS ON THE PROJECT LOCATION.
8. ONLY A QA PERSONNEL SHALL OPERATE SHUT OFF VALVES FOR THE CONTRACTOR.
9. EASEMENTS, IN A FORM SATISFACTORY TO AQA PA SHALL BE REQUIRED FOR ALL WATER FACILITIES LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
10. ALL FIRE HYDRANTS SHALL INCLUDE A 6" GATE VALVE ON THE HYDRANT LATERAL.
11. THE USE OF FITTINGS SHALL BE MINIMIZED, AND MUST BE APPROVED BY AQA PA. OTHERWISE, CONTRACTOR SHALL PROVIDE PIPE LEGENDS AS NECESSARY.
12. WATER MAINS SHALL BE INSTALLED IN AN AREA BEHIND THE CURB OF APPROXIMATE THE DIMENSIONS THAT ARE GREATER THAN NINE FEET FROM THE CURB. ALL OTHER LOCATIONS ARE SUBJECT TO FINAL APPROVAL BY AQA PA. SETTER BOXES MUST MEET THE SPECIFICATIONS OF AQA PA.
13. DEVELOPER SHALL OBTAIN ALL NECESSARY ROAD DRAINAGE PERMITS REQUIRED FOR THE INSTALLATION OF THE WATER FACILITIES, AND SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL APPLICATION FEES AND SERVICE FEE COSTS ASSOCIATED WITH THESE PERMITS.

**VERTICAL THRUST BLOCKING**

PIPE SIZE	6" AND 8"	10"	12"	14"	16"
CONCRETE	1.00	1.25	1.50	1.75	2.00
STEEL	1.00	1.25	1.50	1.75	2.00
STEEL	1.00	1.25	1.50	1.75	2.00
STEEL	1.00	1.25	1.50	1.75	2.00
STEEL	1.00	1.25	1.50	1.75	2.00
STEEL	1.00	1.25	1.50	1.75	2.00

VERTICAL THRUST BLOCKING - UPWARD THRUSTS SCHEDULE OF DIMENSIONS 150 P.S.I. WORKING PRESSURE

**cornerstone**  
Consulting Engineers & Architectural, Inc.

213 Woodbine Avenue, Suite 101, 1866  
Lancaster, PA 17603  
www.cornerstoneinc.com

Professional Engineer  
770-516-1716

Professional Engineer  
Lancaster Region  
315-562-5600

**REVISIONS**

NO.	DESCRIPTION	DATE	BY	CHKD.



**J.B. ANDERSON**

REGISTERED PROFESSIONAL ENGINEER  
STATE OF PENNSYLVANIA  
NO. 1000000000

**PROJECT LOCATION**

FREEDMAN TOWNSHIP  
4 LANE SUBDIVISION  
1101 MEINEL ROAD  
ADINGTON TOWNSHIP  
MONTGOMERY COUNTY  
PENNSYLVANIA  
PREPARED FOR:  
MEINEL ASSOCIATES, LLC

**TITLE**

**UTILITY DETAILS**

REVISIONS

SHEET 15 OF 17

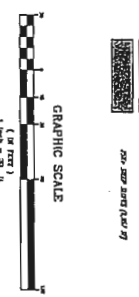
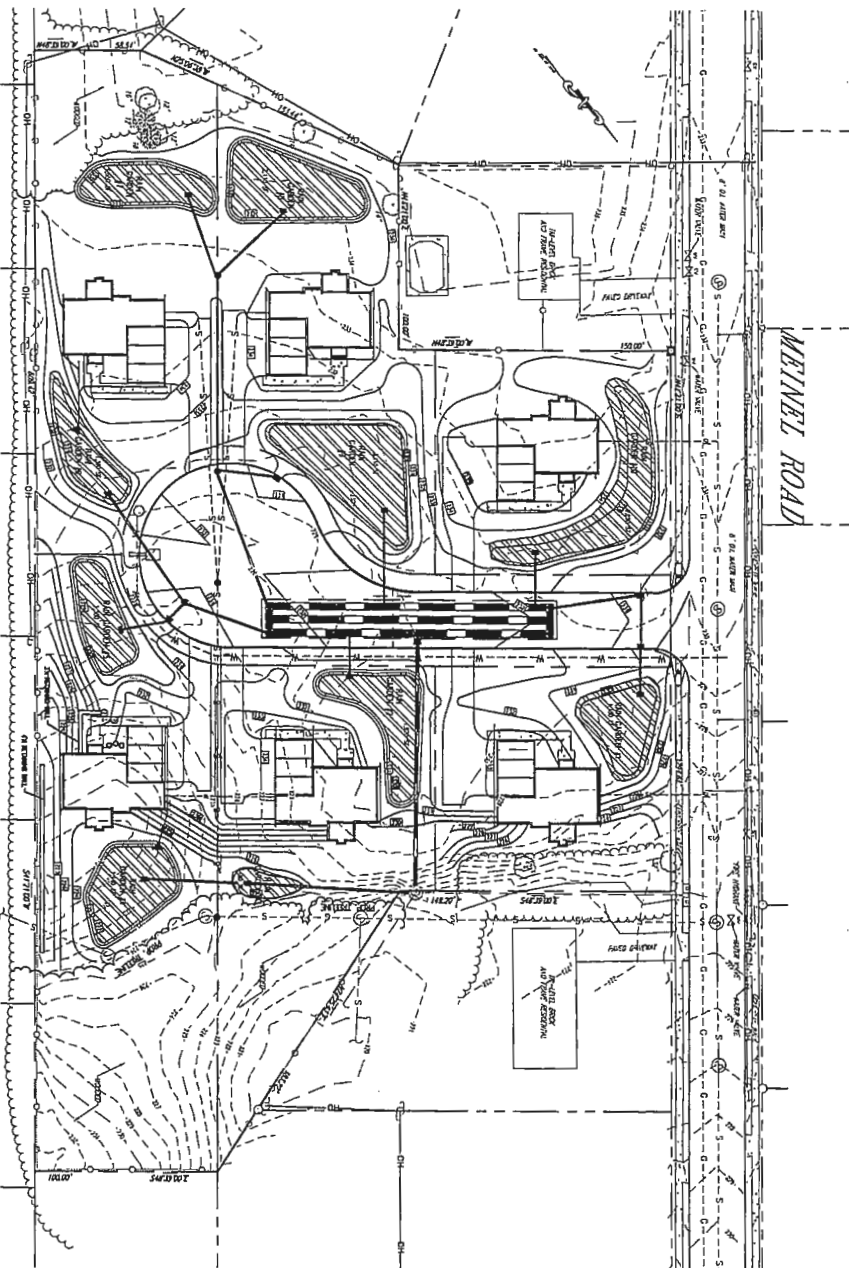


ASBESTOS TOWNSHIP - LANDSCAPE COMPLIANCE CHART	REQUIRED	PROPOSED
<b>Site(s) Landscaping</b> A. Street Trees shall be planted approximately five feet back from the curb in a staggered pattern at a spacing of 30 feet or less for streets with an approximate average spacing of one inch per foot or planted in an alternate arrangement consistent with landscape design (e.g., tree in alternate spacing) to use of street trees in residential development. Lot 1 Area: 1.8, 2.2, 2.5, 7.0, 2.0, 14.0, 7.0, 2.0 = 14.0	14 Street Trees	14 Street Trees (To be distributed around street locations proposed)
B. General landscaping with trees and shrubs, lawn and/or ground cover.	No specific quantities	

SYMBOL	RAIN GARDEN #	TOTAL QUANTITY	DESCRIPTION	NOTES
[Symbol]	1	1,000		
[Symbol]	2	450		
[Symbol]	3	1,300		
[Symbol]	4	1,200		
[Symbol]	5	1,500		
[Symbol]	6	1,300		
[Symbol]	7	1,200		
[Symbol]	8	1,400		
[Symbol]	9	1,100		
[Symbol]	10	2,000		
TOTAL		10,850		

**GENERAL NOTES:**

1. All trees to be planted in the project area shall be of the size specified on the drawings.
2. All trees shall be planted in a staggered pattern at a spacing of 30 feet or less.
3. All trees shall be planted in a staggered pattern at a spacing of 30 feet or less.
4. All trees shall be planted in a staggered pattern at a spacing of 30 feet or less.
5. All trees shall be planted in a staggered pattern at a spacing of 30 feet or less.



**LEGEND**

- PROJECT BOUNDARY
- PROPOSED DRIVE
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING DRIVE
- EXISTING SIDEWALK
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NO.	BY	REVISION	DATE
1	LAC	REVISED PER TOWNSHIP BOARD MEETING	01/20/20
2	LAC	REVISED PER TOWNSHIP BOARD MEETING	01/20/20
3	LAC	REVISED PER TOWNSHIP BOARD MEETING	01/20/20

**Cornerstone**  
 Consulting Engineers & Architectural, Inc.

213 West Main Street, Lansdale, PA 19446  
 Phone: 215-362-2000, Fax: 215-362-4400  
 www.cornerstonepa.com

Philadelphia Region: 215-362-2000  
 Lehigh Valley Region: 610-439-4200  
 Pocono Region: 215-437-1766

**PROJECT LOCATION:**  
 ASBESTOS TOWNSHIP  
 143 HENRIE ROAD  
 ASBESTOS TOWNSHIP  
 MONTGOMERY COUNTY  
 PA 19446

**DATE:** 01/20/20  
**SCALE:** 1" = 20'

# BOARD OF COMMISSIONERS BOARD ACTION REQUEST

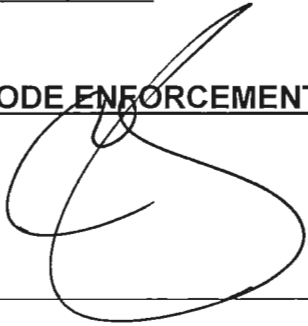
April 5, 2017

AGENDA ITEM

**CE 2**

CODE ENFORCEMENT

TOWNSHIP MANAGER



**AGENDA ITEM**  
Ordinance No. 2131  
Medical Marijuana Ordinance



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## Previous Action:

- Ordinance No. 2131 has been advertised as required by law.
- A copy of Ordinance No. 2131 has been forwarded to Montgomery County Planning Commission for review and comment.
- Ordinance No. 2131 has been reviewed by the Planning Commission of the Township of Abington.
- Reviewed by the Board of Commissioners of the Township of Abington on March 9, 2017. Board ordered revisions to be made and brought back for final action the following month.

## Overview:

- The Board of Commissioners will consider the adoption of Ordinance No. 2131, an amendment to the Zoning Ordinance of the Township of Abington. Ordinance No. 2131 creates use definitions for both a medical marijuana dispensary and medical marijuana grow facility. In addition, on-site parking regulations and separation requirements have been included in the Ordinance. Ordinance No. 2131 was drafted to bring Abington Township into compliance with the requirements of Act 16 of 2016 of the Commonwealth of Pennsylvania.

## Recommended Board Action:

- **Informational Purposes Only:** A public hearing has been scheduled for Thursday, April 13, 2017, with a 7:30 p.m. start time. The meeting will be held in the 2<sup>nd</sup> floor Board Room of the Abington Township Administration Building, located at 1176 Old York Road, Abington, Pa.

## Public Notice

The Board of Commissioners of the Township of Abington will hold a public meeting on **Thursday, April 13, 2017 at 7:30 p.m.** at the Abington Township Administration Building located at 1176 Old Road, Abington, Pa. 19001, to conduct a public hearing on and to consider enactment of **Ordinance #2131**, amending, Chapter 162, "Zoning," of The Code of the Township of Abington. Following the hearing, the Board of Commissioners may vote on the adoption of Ordinance #2131 which is entitled:

AN ORDINANCE AMENDING CHAPTER 162 – "ZONING, " AT ARTICLE II – "DEFINITIONS," AT SECTION 201 - "SPECIFIC DEFINITIONS," ARTICLE IV – "COMMERCIAL ZONING DISTRICTS," AT SECTIONS 400.2.A - "USES BY RIGHT" IN THE TOWN COMMERCIAL DISTRICTS, 401.2.A – "USES BY RIGHT" IN THE SPECIAL COMMERCIAL DISTRICTS, 402.2.A – "USES BY RIGHT" IN THE PLANNED BUSINESS DISTRICTS; ARTICLE V – "SPECIAL ZONING DISTRICTS," AT SECTIONS 501.2.A – "USES BY RIGHT" IN THE MIXED USE DISTRICTS AND 502.2.B – "USES BY CONDITIONAL APPROVAL" IN THE SUBURBAN INDUSTRIAL DISTRICTS; ARTICLE VII – "USE REGULATIONS," AT SECTION 706 – "CATEGORIES OF PERMITTED USES," AT SUBSECTIONS C – "COMMERCIAL USES," AND D – "INDUSTRIAL USES;" AND ARTICLE IX – "PARKING AND TRANSPORTATION STANDARDS," AT SECTIONS 901.3 – "COMMERCIAL LAND USE," AND 901.4 – "INDUSTRIAL USES," RELATED TO THE MEDICAL MARIJUANA ACT

Ordinance #2131 is proposed in order to allow Abington Township to be in compliance with the Pennsylvania Medical Marijuana Act, Act 16 of 2016. The Ordinance amends Chapter 162, Section 201, "Definitions," to add definitions for "Department of Health," "Medical Marijuana Act," "Medical Marijuana Dispensary," and "Medical Marijuana Grower Processor;" amends Article IV, Sections 400.2.A, 401.2.A, 402.2.A; Article V , Sections 501.2.A to add Use C-37, Medical Marijuana Dispensary and 502.2.B to add Use D-18, Medical Marijuana Grower/Processor; amends Article VII, Section 706.C and 706.D, to establish use regulations for Uses C-37 and D-18; amends Article IX, Sections 901.3 and 901.4 to establish off-street parking regulations for Uses C-37 and D-18; and includes a severability clause, a repealer clause and a provision setting an effective date.

A copy of the full text of the proposed ordinance may be examined by any citizen in the Code Enforcement Office of the Township of Abington, located at 1176 Old York Road, Abington, Pa. 19001, during normal business hours. An attested copy of the proposed ordinance has been sent to the Montgomery County Law Library, 2 East Airy Street, Norristown, PA 19401, and to the Times Chronicle, Montgomery News, 307 Derstine Avenue, Lansdale, PA 19446, and is available at those locations for public inspection.

All interested parties are invited to attend and make comment on the proposed ordinance.

Michael LeFevre, Secretary  
Township of Abington

**TOWNSHIP OF ABINGTON**  
**MONTGOMERY COUNTY, PENNSYLVANIA**  
**ORDINANCE NO. 2131**

**AN ORDINANCE AMENDING CHAPTER 162 – “ZONING,” AT ARTICLE II –  
“DEFINITIONS,” AT SECTION 201 - “SPECIFIC DEFINITIONS,”  
ARTICLE IV – “COMMERCIAL ZONING DISTRICTS,” AT SECTIONS 400.2.A -  
“USES BY RIGHT” IN THE TOWN COMMERCIAL DISTRICTS, 401.2.A – “USES BY  
RIGHT” IN THE SPECIAL COMMERCIAL DISTRICTS, 402.2.A – “USES BY RIGHT”  
IN THE PLANNED BUSINESS DISTRICTS;  
ARTICLE V – “SPECIAL ZONING DISTRICTS,” AT SECTIONS 501.2.A – “USES BY  
RIGHT” IN THE MIXED USE DISTRICTS AND 502.2.B – “USES BY CONDITIONAL  
APPROVAL” IN THE SUBURBAN INDUSTRIAL DISTRICTS;  
ARTICLE VII – “USE REGULATIONS,” AT SECTION 706 – “CATEGORIES OF  
PERMITTED USES,” AT SUBSECTIONS C – “COMMERCIAL USES,” AND D –  
“INDUSTRIAL USES;”  
AND ARTICLE IX – “PARKING AND TRANSPORTATION STANDARDS,” AT  
SECTIONS 901.3 – “COMMERCIAL LAND USE,” AND 901.4 – “INDUSTRIAL USES,”  
RELATED TO THE MEDICAL MARIJUANA ACT**

**WHEREAS**, the Township of Abington is a Township of the First Class, duly organized and existing pursuant to the applicable laws of the Commonwealth of Pennsylvania; and

**WHEREAS**, pursuant to section 1502.44 of the First Class Township Code of the Commonwealth of Pennsylvania, 53 P.S. §56544, the Board of Commissioners has the authority to enact and amend provisions of the Abington Township Code (“Code”) at any time it deems necessary for the health, safety, morals, general welfare, cleanliness, beauty, convenience and comfort of the Township and the inhabitants thereof; and

**WHEREAS**, the Board of Commissioners of the Township of Abington has determined that Chapter 162 – “Zoning” should be amended at Article II – “Definitions,” Section 201 – “Specific Definitions”; Article IV – “Commercial Zoning Districts,” Sections 400.2.A – “Uses



by Right” in the Town Commercial Districts, 401.2.A – “Uses by Right” in the Special Commercial Districts, 402.2.A – “Uses by Right” in the Planned Business Districts; Article V – “Special Zoning Districts,” at Sections 501.2.A – “Uses by Right” in the Mixed Use Districts and 502.2.B – “Uses by Conditional Approval” in the Suburban Industrial Districts; and Article VII – “Use Regulations,” at Section 706 – “Categories of Permitted Uses,” Subsection C – “Commercial Uses,” and D – “Industrial Uses,” and Article IX – “Parking and Transportation Standards,” at Sections 901.3 – “Commercial Land Use,” and 901.4 – “Industrial Uses,” for the health, safety, morals, general welfare, cleanliness, beauty, convenience and comfort of the Township and the inhabitants thereof.

**NOW, THEREFORE,** the Board of Commissioners of the Township of Abington does hereby **ENACT** and **ORDAIN** as follows:

**SECTION 1. Chapter 162, “Zoning,” Section 201, Specific Definitions,** is hereby amended to add the following definitions:

*Department of Health* – The Department of Health of the Commonwealth of Pennsylvania.

*Medical Marijuana Act* – Act 16 of 2016, 35 P.S. § 10231.101 *et seq.*

*Medical Marijuana Dispensary* – A person, including a natural person, corporation, partnership, association, trust, or other entity, or any combination thereof, which is registered by the Department of Health under the Medical Marijuana Act to dispense medical marijuana. The term does not include a Health Care Medical Marijuana Organization under Chapter 19 of the Medical Marijuana Act.

*Medical Marijuana Grower/Processor* – A person, including a natural person, corporation, partnership, association, trust, or other entity, or any combination thereof, which is registered by the Department of Health under the Medical Marijuana Act to grow and process medical marijuana. The term does not include a Health Care Medical Marijuana Organization under Chapter 19 of the Medical Marijuana Act.

**SECTION 2. Chapter 162, Article IV, Town Commercial Districts, Section 400.2.A, Special Commercial Districts, Section 401.2.A, Planned Business Districts, Section 402.2.A, and Article V, Mixed Use Districts, Section 501.2.A,** are each hereby amended to add the following permitted use:

**C-37** Medical Marijuana Dispensary

**SECTION 3. Chapter 162, Article V, Suburban Industrial District, Section 502.2.B,** is hereby amended to add the following conditional use:

h. **D-18** Medical Marijuana Grower/Processor

**SECTION 4. Chapter 162, Article VII, Use Regulations, Section 706.C,** is amended to add the following use:

**Use C-37** Medical Marijuana Dispensary, subject to the specific criteria listed below:

- (a) A Medical Marijuana Dispensary shall provide proof of registration with the Department of Health or proof that registration has been sought and is pending approval, and shall at all times maintain a valid, accurate, and up-to-date registration with the Department of Health. Should registration be denied or revoked at any time, any Township approval shall immediately become void. A Medical Marijuana Dispensary may not operate on the same site as a facility used for growing and processing medical marijuana.
- (b) A Medical Marijuana Dispensary shall at all times operate in compliance with all Department of Health regulations pertaining to such facilities.
- (c) A Medical Marijuana Dispensary shall not be operated or maintained on a parcel within 1,000 feet, measured by a straight line in all directions, without regard to intervening structures or object, from the nearest point on the property line of a parcel containing a public, private or parochial school, or child day-care center, as defined and regulated by the Pennsylvania Department of Health
- (d) A Medical Marijuana Dispensary must operate entirely within an indoor, enclosed, and secure facility. No exterior sales and no sidewalk displays shall be permitted. No drive-thru services shall be permitted. The use cannot be advertised on radio or television.

- (e) A Medical Marijuana Dispensary shall be limited to the hours of operation not earlier than 9:00 a.m. and not later than 9:00 p.m.
- (f) A Medical Marijuana Dispensary shall submit a disposal plan to be reviewed and approved by the Township. Medical marijuana remnants and by-products shall be disposed of according to an approved plan and shall not be placed within an exterior refuse container.
- (g) There shall be no emission of dust, fumes, vapors or odors which can be seen, smelled or otherwise perceived from beyond the lot line for the property where the Medical Marijuana Dispensary is located.
- (h) No one under the age of eighteen (18) shall be permitted in a Medical Marijuana Dispensary, unless accompanied by a caregiver as required under Section 506 of the Medical Marijuana Act.
- (i) No use of medical marijuana shall be permitted on the premises of a Medical Marijuana Dispensary.
- (j) A Medical Marijuana Dispensary shall submit a security plan to the Township, which plan shall demonstrate how it will maintain effective security and control. The security plan shall specify the type and manner of 24-hour security, tracking, recordkeeping, record retention, and surveillance system to be utilized in the facility as required by Section 1102 of the Medical Marijuana Act and as supplemented by regulations promulgated by the Department of Health pursuant to the Medical Marijuana Act.

**SECTION 5. Chapter 162, Article VII, Use Regulations, Section 706.D,** is hereby amended to add the following:

**Use D-18** Medical Marijuana Grower/Processor, subject to the specific criteria listed below:

- (a) A Medical Marijuana Grower/Processor shall provide proof of registration with the Department of Health or proof that registration has been sought and is pending approval, and shall at all times maintain a valid, accurate, and up-to-date registration with the Department of Health. Should registration be denied or revoked at any time, any Township approval shall immediately become void.

- (b) A Medical Marijuana Grower/Processor shall at all times operate in compliance with all Department of Health regulations pertaining to such facilities.
- (c) A Medical Marijuana Grower/Processor must be located on a lot containing not less than two (2) acres.
- (d) A Medical Marijuana Grower/Processor shall not be operated or maintained on a parcel within 1,000 feet, measured by a straight line in all directions, without regard to intervening structures or object, from the nearest point on the property line of a parcel containing a public, private or parochial school, or child day-care center, as defined and regulated by the Pennsylvania Department of Health.
- (e) A Medical Marijuana Grower/Processor must operate entirely within an indoor, enclosed, and secure facility. No exterior sales and no sidewalk displays shall be permitted. No drive-thru services shall be permitted. The use cannot be advertised on radio or television.
- (f) A Medical Marijuana Grower/Processor shall be limited to the hours of operation not earlier than 9:00 a.m. and not later than 9:00 p.m.
- (g) A Medical Marijuana Grower/Processor shall submit a disposal plan to be reviewed and approved by the Township. Medical marijuana remnants and by-products shall be disposed of according to an approved plan and shall not be placed within an exterior refuse container.
- (h) There shall be no emission of dust, fumes, vapors or odors which can be seen, smelled or otherwise perceived from beyond the lot line for the property where the Medical Marijuana Grower/Processor is located.
- (i) No one under the age of eighteen (18) shall be permitted in a Medical Marijuana Grower/Processor, unless accompanied by a caregiver as required under Section 506 of the Medical Marijuana Act.
- (j) No use of medical marijuana shall be permitted on the premises of a Medical Marijuana Grower/Processor.
- (k) A Medical Marijuana Grower/Processor shall submit a security plan to the Township, which plan shall demonstrate how it will maintain effective security and control. The security plan shall specify the type and manner of 24-hour security, tracking, recordkeeping, record retention, and surveillance system to be

utilized in the facility as required by Section 1102 of the Medical Marijuana Act and as supplemented by regulations promulgated by the Department of Health pursuant to the Medical Marijuana Act.

- (1) Fencing. Each Medical Marijuana Grower/Processor use shall be completely enclosed by a fence having a minimum height of six (6) feet. The Board of Commissioners may, by Conditional Use approval, require a greater fence height when deemed by the Board to be necessary for the protection of public health and safety .

**SECTION 6. Chapter 162, Article IX, Parking and Transportation Standards,** is hereby amended to add the following parking requirements:

**Section 901.3,** Commercial Land Uses, is amended to add the following:

**Use C-37:** Medical Marijuana Dispensary: One (1) off-street parking space per 200 square feet of gross leasable floor area.

**Section 901.4,** Industrial Land Uses, is amended to add the following:

**Use D-18:** Medical Marijuana Grower/Processor: One (1) off-street parking space per 500 square feet of gross floor area devoted to the manufacturing area, storage area and utility area, plus one (1) off-street parking space for every 300 square feet of gross floor area devoted to sales or office area.

## **SECTION 7. SEVERABILITY.**

In the event that any section, sentence, clause, phrase or word of this ordinance shall be declared illegal, invalid or unconstitutional by any Court of competent jurisdiction, such declaration shall not prevent or otherwise foreclose enforcement of any of the remaining portions of this ordinance.

## **SECTION 8. REPEALER.**

All ordinance or parts of ordinances inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistency or conflicts, are hereby specifically repealed.

**SECTION 9. EFFECTIVE DATE.**

This Ordinance shall be effective five (5) days after enactment.

**ORDAINED AND ENACTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

TOWNSHIP OF ABINGTON  
BOARD OF COMMISSIONERS

Attest:

\_\_\_\_\_  
Michael LeFevre, Secretary

By: \_\_\_\_\_  
Wayne Luker, President